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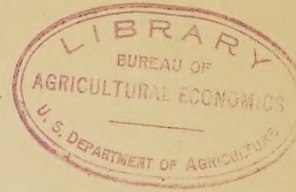
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LU-PO 1

UNITED STATES DEPARTMENT OF AGRICULTURE  
BUREAU OF AGRICULTURAL ECONOMICS



MEMORANDUM TO OFFICIALS ACTING IN CHARGE OF LAND UTILIZATION  
PROGRAM

Subject: Preliminary instruction for Date: November 30, 1937  
the preparation and submission  
of the land acquisition plan

The attached instruction (LU-PO 1) is issued for the guidance of the field staff of the Division in the initiation of planning work on projects and in the preparation and submission of land acquisition plans under Title III of the Bankhead-Jones Farm Tenant Act. The instruction is preliminary in character. It has been developed in collaboration with members of the field staff and reflects the combined judgment of qualified specialists of the field and Washington staffs of the Division. If modifications or amendments appear necessary, these will require approval by the Division.

Instructions will be issued subsequently to cover the preparation and submission of other segments of the detailed project plan.

Signed:

A handwritten signature in cursive script that reads "C. F. Clayton".

C. F. Clayton, In Charge  
Division of Project Organization

Attachment





UNITED STATES DEPARTMENT OF AGRICULTURE  
BUREAU OF AGRICULTURAL ECONOMICS  
DIVISION OF PROJECT ORGANIZATION

PRELIMINARY INSTRUCTION FOR THE PREPARATION AND SUBMISSION  
OF THE LAND ACQUISITION PLAN

1 PURPOSE:

- a The land acquisition plan will establish a pattern of Federal acquisition within the approved project boundary which, in conjunction with other measures proposed, will contribute most to the establishment of a permanent and stable economy for the area.
  - I The land acquisition plan, when approved, will authorize the Division of Land Acquisition to purchase the tracts recommended for acquisition in the plan.
  - II It will provide the regional and Washington offices with the information as to present uses of land, operated units, land control, public facilities, ownership and projected uses of the land, basic to the determination of the pattern of federal acquisition established for the project.

2 GENERAL:

- a The land acquisition plan will be one of four detailed plans prepared for a project, as follows:
  - I Acquisition of land
  - II Development
  - III Management and administration
  - IV Institutional adjustments

Separate instructions will be issued for the preparation and submission of the plans for development, management and administration, and institutional adjustments.

- b The land acquisition plan will be prepared with reference to the other detailed plans for the project and the plans will be so integrated as to provide a master plan for a project.

- c The present instructions supersede all previous instructions for the preparation of land acquisition plans and for the preparation of preliminary proposals for the purchase of additional land within existing projects.
- d Approval in writing must be obtained from the Head of the Division of Project Organization for the preparation and submission of land acquisition plans not in accordance with present instructions.

3 ORGANIZATION FOR DETAILED PLANNING OF PROJECTS:

a Responsibility for Planning the Projects

- I The project manager will have general responsibility for all planning done on the project. On many projects, particularly the larger ones, the administrative duties of the project manager will require that he delegate immediate responsibility for planning.
- II To the extent that it is practicable, in planning various phases of the project - acquisition, development, management and administration, and institutional adjustments, the Division of Project Organization will utilize the services of personnel of other Divisions specially qualified to assist in the particular phases of the planning work.
- III The person in charge of Project Organization in the regional office with the approval of the regional director, will provide the project managers with such technical and supervisory personnel needed on the projects for planning as can be furnished by the regional office.
- IV The regional director will be immediately responsible to the Head of the Division of Project Organization for the planning of all projects in his region.
- V The Head of the Division of Project Organization will provide the field offices with such technical and other personnel available in the Washington office of the Division as may be needed to assist in the planning work in the field. He also will arrange for the services of such personnel available in other Divisions and Agencies as may be needed to assist in the planning work.

b Qualifications and Salaries of Personnel on the Project Engaged in Project Planning

- I On all projects the project manager, in addition to his qualifications as administrator, must be able to coordinate planning activities on the project in an effective manner. On projects where the immediate responsibility for planning is not delegated to an assistant, the project manager must also be qualified and in a position to give detailed directions for the carrying out of the planning work. Men qualified in the fields of public relations and administration and with a background of experience and training in agricultural economics or land conservation will be most likely to meet the requirements of the position of project manager.



- II On projects where the immediate responsibility for planning is delegated by the project manager to an assistant, the assistant should be qualified to give immediate supervision and direction to all planning activities. Such a person should be thoroughly trained in agricultural economics and preferably should have had special training and experience in the field of land utilization. In addition to these qualifications, every effort should be made to select a person who is qualified in the particular phase of planning that is of dominant importance on the project.
- III On large projects or projects where there are complex problems of planning, it may be desirable to employ one or more planning assistants or planning aides, in addition to stenographic, clerical, and drafting personnel. Planning assistants should be technically trained men qualified in one or more phases of the planning work to supervise the collection of information and to analyze and interpret it. Planning aides should be trained men qualified to collect, assemble, and interpret information under the supervision and direction of the person immediately responsible for planning.
- IV The salary grades for project manager and technical personnel engaged in planning on the project will vary in accordance with the size of the project and the complexity of the planning. The following tabulation is illustrative:

<u>Position</u>	<u>Salary</u>
Project Manager	\$3200 - \$3800
In Charge, Project Organization	2600 - 3500
Planning Assistant	1800 - 2600
Planning Aide	1440 - 1800

The titles of persons filling these positions will be assigned in accordance with instructions issued by the Division of Business Administration.

c Temporary Employment of Personnel for Special Studies and Surveys

- I The personnel required for the technical supervision of all studies and surveys will be drawn, insofar as possible, from personnel on the project or in the regional and Washington offices. However, it may frequently be necessary to employ technically trained men for short periods of time to assist with special studies and surveys. Such personnel often may be obtained through the State Agricultural Colleges and through various agencies of the Federal Government. Wherever practicable, the detail of qualified personnel from within the Bureau and from other Bureaus of the Department will be obtained for assisting in special surveys and studies.

d Employment of Project Personnel and Initiation of Detailed Project Planning

- I The appointment of a project manager and a skeleton administrative staff will follow as soon as possible the receipt of notification in the regional office of the approval of the preliminary proposal by the Secretary.
- II The initiation of detailed project planning work and the appointment of personnel for field surveys will follow the receipt of notification in the regional office of the approval by the Head of the Division of Project Organization of a statement setting forth the types and costs of the planning work to be prosecuted within the limits of the budget. (See paragraph 5 a below)
- III In order that acquisition operations may be initiated promptly, the planning work will be directed towards an immediate field determination of areas or tracts which, without question, should be purchased. It is expected that a preliminary determination of the tracts which should be acquired in that portion of the project where the adjustment needed is most evident, will be made in sufficient time for the acquisition operations to be started within two weeks after the initiation of planning activities.

4 ORGANIZATION FOR DETAILED PLANNING OF OLD PROJECTS:

- a Planning in connection with the old projects will be done by personnel at present employed on the projects with such assistance as may be obtained through the Washington and regional offices.

5. PREPARATION AND SUBMISSION OF PROJECT PLANNING WORK STATEMENT:

- a Detailed planning of the project will involve the analysis and, in many instances, the assembly of information relative to present land use and control, farm and ranch organization, projected use of the land, ownership of land, public facilities, cover, water resources, taxation, indebtedness of local political units and other types of information, in order to determine the adjustments to be made. The detail in which these types of information are assembled and analyzed and the methods of obtaining the information, will depend upon the character of the project, the complexity of the problems of adjustment and the information which is already available. Because of these facts, control over the planning work will be exercised by the submission and approval, before the initiation of detailed project planning work, of a statement indicating the types of investigations to be made and their general scope, character and cost instead of attempting to set forth in detailed instructions the exact information to be obtained or the method of obtaining it.



b In determining the types of information to be obtained, the detail in which it will be obtained and the methods of obtaining it, certain considerations and principles will be kept in mind.

I The data assembled must be sufficiently comprehensive to provide adequate information for the planning of all phases of the project - acquisition, development, management and administration and institutional adjustments.

II The work proposed must be limited to the assembly and analysis of information that is basic to a determination of the adjustments proposed. In this connection, consideration will be given to the probability of interpreting and using this information in sufficient time to be of value in planning the project. Although the ultimate success of the land conservation and land utilization program is primarily dependent upon the care with which projects are planned, the immediate success of the program is dependent upon the prompt execution of the acquisition and development programs. Consequently, the planning work necessarily must be limited to obtaining information which can be utilized promptly.

III The cost of work to be borne by the budget for detailed project planning must not exceed the amount available for planning a particular project.

c Approval of the work statement by the Head of the Division of Project Organization will authorize the regional director to proceed with all phases of the planning work. Additional types of work may not be undertaken until a request for modification of the statement has been submitted and approved.

d Contents of Work Statement

I The work statement will include descriptions of individual planning operations on Form LU-PO 1, a summary of the cost of individual planning operations on Form LU-PO 2, project organization personnel charts, and descriptions of the duties of personnel filling each position. Copies of Forms LU-PO 1 and 2 and sample copies of the project organization personnel charts and descriptions of duties of personnel with necessary instructions, are arranged in Exhibit A in the form in which the work statement is to be submitted.

e Submission and Approval of the Project Planning Work Statement

I The work statement will be prepared in quadruplicate. The regional director will recommend approval of the statement by affixing his signature and the date thereof to Form LU-PO 2 in the space provided for that purpose. He will forward two copies of the statement to the Head of the Division of Project Organization and one copy to the project office.

II The Head of the Division of Project Organization will notify the regional director of the approval of the work statement.

6 ASSEMBLY AND ANALYSIS OF INFORMATION FOR THE LAND ACQUISITION PLAN:

a Information to be Assembled and Analyzed

- I The preparation of the land acquisition plan will involve the assembly and analysis of information as to the present use and control of land, farm and ranch organization, projected land use, ownership of land and public facilities. On certain projects, information of other types may be needed in order to determine the pattern of purchase. Such information will be obtained only to the extent indicated in the approved work statement. The detail in which the various types of information are shown in the plan will depend upon the significance of the items in determining the acquisition pattern. However, the minimum requirements for the land acquisition plan will involve the presentation of data as to present use of the land for crops, grazing or pasture and forestry; data for all operated units as to tenure (including character of control), farm improvements, acreage by major uses, location of land, acreage and production by crops and number of livestock by classes; and data as to the projected use of the land for crops, grazing or pasture, and forestry.
- II Consideration will be given in the assembling of information for the land acquisition plan to the need for information of similar types in connection with the planning of other phases of the project - development, management and administration, and institutional adjustments. For example, information as to water resources, location of fences, number of children of school age and distance to schools may be needed in connection with the planning of the other phases of the project and can be most economically obtained simultaneously with the obtaining of information as to tenure, farm improvements, etc. for each operated unit. Likewise, it may be desirable on certain projects to expand the scope of the data obtained for each operated unit, to provide a basis for determining later, in connection with the plan for future use and administration of the project, the commensurability, dependency, and prior use of the operated units not purchased.
- III Data which are not needed in connection with the planning for land acquisition and which can be assembled as readily later will not be obtained in the preparation of the land acquisition plan. For instance, it will be usually unnecessary to make a detailed cover survey in connection with the preparation of the land acquisition



plan. Although information as to cover may have significance in the plan for land acquisition, it should be possible to obtain sufficiently accurate information without making a detailed cover survey. On projects where the projected use of the land is largely for forestry, it may be desirable to have a cover survey made later in connection with the planning for development. On other projects where the projected use of the land is for grazing, a detailed cover survey may not be necessary until the management phase of the project has been reached and the cost can be charged to the administration of the project.

b Methods of Obtaining Information

I The methods of obtaining the information to be assembled and analyzed in connection with the land acquisition plan will be determined in the regional offices but subject, however, to such review and modification as may be deemed desirable by the Washington office of the Division of Project Organization. On many, if not most, projects, it will be necessary to supplement the existing information by field surveys in order to obtain the information necessary for preparing the plan. On some projects, it may be possible to obtain all of the necessary information through farm and ranch and land classification surveys. (A copy of a schedule form proposed for use in connection with a farm and ranch survey on certain projects in the Great Plains Region is attached hereto as Exhibit B). However, other field investigations such as a water survey may be necessary on other projects.

c Definitions, Standards, and Criteria

I It will be the responsibility of the regional offices to define standards and criteria in connection with the assembly and analysis of information. These standards and criteria will be subject to review and modification by the Washington office of the Division of Project Organization. It will be expected that the standards and criteria will be established at the initiation of the planning work and that they will be available for examination at all times in the project and regional offices.

7 PREPARATION OF LAND ACQUISITION PLANS FOR NEW PROJECTS:

a Preparation of Maps

I Six maps will be included in the plan as follows:



- A Project key map
- B Public facilities and cultural features map
- C Present land use map
- D Classification of operated units map
- E Projected land use map
- F Ownership map

The project key map will serve principally to identify important cultural and natural features with relation to the boundaries of the project. The other maps will serve principally to show the information basic to a determination of the tracts which should be acquired. It is expected that these maps will be in sufficient detail to provide a basis when correlated and integrated for making a reasonable determination of the pattern of purchase. The ownership map will show the tracts proposed for purchase and when it has been approved by the Head of the Division of Project Organization, it will provide the authorization for purchase by the Division of Land Acquisition. The public facilities and cultural features map will serve later as the base map used in the preparation of the development plan.

## II General specifications for all maps

- A To facilitate examination and filing all maps will be submitted on sheets with outside dimensions thirty-one inches by thirty-five inches (31"x 35"). This will permit assembling in atlas folios with covers thirty-two inches by thirty-six inches (32"x36"). If the project is of such size that on the basis of the established scale, it is impossible to show the entire project on one sheet (31"x35"), it will be necessary to divide the project area into sections which can be submitted on sheets thirty-one inches by thirty-five inches (31"x35").
- B The project key map will be on whatever scale is necessary to show the entire project area on one sheet thirty-one by thirty-five inches (31"x35"). (See specifications for Project key map). All other maps for the project will be developed on an uniform scale of not less than one inch to the mile. The scale to be used on a particular project will be determined in the regional office.

- C The margin on the left hand side of the sheet will be a minimum of two (2) inches. The margins at the top and bottom of the map sheet will not be less than one and one-half ( $1\frac{1}{2}$ ) inches. The margin on the right-hand side of the sheet will not be less than eight (8) inches. The left-hand margin of two inches will be utilized in binding the maps; the right-hand margin of eight (8) inches for legends and map identification.
- D The symbols used will be those contained in Administration Data No. 1 of the former Resettlement Administration and attached hereto as Exhibit C. Either colors or hatching may be utilized in the preparation of maps except for the ownership map which will be hatched to show types of ownership.
- E In the lower right-hand corner of each map sheet will be included a table of sufficient size to be clearly legible, as follows:

(TITLE)

Project Symbol \_\_\_\_\_ Sheet No. \_\_\_\_\_

(Bar Scale of Miles)

Prepared by \_\_\_\_\_ Date \_\_\_\_\_

Revised by \_\_\_\_\_ Date \_\_\_\_\_

" " \_\_\_\_\_ "

" " \_\_\_\_\_ "

" " \_\_\_\_\_ "

Approved by \_\_\_\_\_ Date \_\_\_\_\_  
(Regional Director)

Approved by \_\_\_\_\_ Date \_\_\_\_\_  
In Charge, Division of Project  
Organization)

- F All maps will be submitted as black, blue or brown line prints.

### III Specifications for map to be entitled "Project Key Map"

- A This map will be on whatever scale is necessary to show on one map sheet thirty-one inches by thirty-five inches (31"x35") the boundaries of the project area. Projects involving more than one site will be shown on one map sheet wherever the sites can be shown in their **true** geographical relationship without reducing the scale to a point where the boundaries of each site are not clearly distinguishable. In instances where this is impossible, separate map sheets may be used to show the various sites. Where more than one map sheet is necessary for a single project, each map sheet will be on the same scale.
- B The project boundaries will be drawn so as to include only the area which is to be included in the plans for the project.
- C Significant features which will be included and identified are towns, trunk highways, railroads, important streams or rivers and county and township boundaries. On projects where the base map will consist of more than one sheet (See "Specifications for base map" below), heavy lines will be drawn on the project key map to show the portion of the project area to be shown on each sheet of the base map. Each portion of the project area thus delineated will be numbered and the number thus assigned will become the sheet number of the base map for that portion of the project. (Copies of a specimen map are being forwarded to the regional office under separate cover for distribution to the field as a guide in the preparation of the project key map).

### IV Specifications for Base Map

- A All maps for a project except the "Project Key Map" will be developed from one base map. The scale of the base map will be established by the regional office but will not be less than one inch to the mile, as indicated above in the discussion of the general specifications for maps. It will show county, township, and section lines for sectionalized areas. The township and range designations will be shown on the left-hand and top margins, respectively, of the map sheets.
- B In unsectionalized areas, the base map will be divided by thin grid lines into areas two miles square. These areas will be numbered consecutively (left to right) on the map sheet beginning with map sheet number one and the numbers used as an index to the location of tracts and other information to be shown later on the base map.



- C Boundaries of townships and other area divisions will be made contiguous on the base map wherever feasible. A space not to exceed one inch may separate the boundaries of townships where this is not feasible. Arrows will be used to indicate the manner in which townships connect in instances where the boundaries are not made contiguous on the map.
  - D In sectionalized areas, the use of General Land Office plats will be helpful in preparing the base map. Wherever necessary, copies of these plats may be obtained in accordance with the procedure outlined by the Division of Land Acquisition in instructions for the acquisition of land.
- V Specifications for map to be entitled "Public Facilities and Cultural Features."
- A Public facilities and cultural features having significance in the planning of any phase of the project will be included. If this is impractical to do at the time the acquisition plan is submitted, only those public facilities and cultural features having significance in connection with the planning for acquisition need be shown. In that event, the map later will be revised in connection with the Development Plan..
  - B Among the items which will have significance are farm or ranch headquarters, roads, schools, school district boundaries, streams, existing water developments, school bus routes, churches and power lines. Other features, such as fences, may have significance on certain projects. A distinction should be made between those facilities which are in use and those which are not in use. (Copies of a specimen map are being forwarded to the regional office under separate cover for distribution to the field as a guide in the preparation of the public facilities and cultural features map).
- VI Specifications for map to be entitled "Present Land Use."
- A Land used as crop land, grazing or pasture land and as forest land will be shown by appropriate hatching or color on this map. Such sub-classifications of these major uses of the land and such additional classifications may be added as may seem of significance to the regional offices in selecting the land to be acquired.

- B On certain projects, abandoned cultivated land or eroded land incapable of any present use may be sufficiently important classifications in determining the program of purchase to justify their being mapped. On other projects, it may be desirable to sub-classify the crop land as to its use for cultivated crops, permanent meadow or other uses; to sub-classify the grazing or pasture land as to its carrying capacity, or use for summer or winter grazing, and to sub-classify the forest land. (Copies of a specimen map are being forwarded to the regional office under separate cover for distribution to the field as a guide in the preparation of the present land use map).

VII Specifications for map to be entitled "Classification of Operated Units."

- A The boundary of all bodies of land comprising each operated unit will be shown on this map. The operated units which are adequate, as measured by their capacity to provide a satisfactory living for a farm family will be indicated by appropriate hatching or color. Each operated unit will include all land contiguous or non-contiguous, owned, or leased for the operation of a single business unit under one management.
- B A number identifying each operated unit and located as near as practicable to the farmstead or ranch headquarters will be shown. Arrows extending from each non-contiguous body of land and pointing to the operated unit number will be used to identify the bodies of land included in a single unit. (Copies of a specimen map are being forwarded to the regional office under separate cover for distribution to the field as a guide in the preparation of the classification of operated units map).
- C If a soil conservation district or grazing association has been established, the boundaries of the areas within which these agencies operate and the land controlled by them will be indicated by appropriate legends.

VIII Specifications for map to be entitled "Projected Land Use."

- A The land proposed for use as crop land, grazing or pasture land, and forest land will be shown by appropriate hatching or color. Such sub-classifications of these uses and such additional classifications may be added as appear of significance to the regional offices.

- B On certain projects, it may be desirable to sub-classify the crop land on the basis of its projected use for cash crops or forage crops. On other projects, it may be desirable to distinguish winter grazing areas from other grazing areas or to make other distinctions.
- C The projected uses of the land shown on the map will represent the desired adjustments in land use and should be based on practical considerations affecting the feasibility of making various adjustments. In some instances, it may be found that the proposed purchase program cannot be carried out and, as a result, certain adjustments may have to be made in the projected use of the land. Whenever significant changes are made, the projected land use map will be revised and resubmitted. (Copies of a specimen map are being forwarded to the regional office under separate cover for distribution to the field as a guide in the preparation of the projected land use map).

IX Specifications for map to be entitled "Ownership"

- A The boundaries of all tracts will be shown on the ownership map. By a "tract" is meant all the land in a contiguous body which is in one ownership. Bodies of land which corner on each other, although in the same ownership, will be considered as non-contiguous and, therefore, shown as separate tracts.
- B Public domain, other Federally-owned land, and state and county-owned land will be shown by appropriate hatching. Such additional types of ownership may be shown as appear of significance to the regional offices. On certain projects, it may be of importance in the planning work to show land which has reverted to the county because of non-payment of taxes, to sub-classify the privately-owned land as to residence of owner or to make other distinctions.



- C All tracts recommended for purchase will be indicated by a numeral keyed to a legend on the map indicating the types of tracts being recommended. These types should be in conformity with the types of tracts approved for purchase on a particular project by the Secretary. The priority, if any, of the tracts proposed for purchase will be indicated by a capital letter accompanying the numeral and keyed to a legend on the map indicating the order of priority. The order of priority should show in particular those tracts which should not be accepted until commitments have been made by the acceptance of options on other tracts.
  - D Land, the use of which is to be controlled by means other than purchase, will be outlined and keyed to a legend on the map indicating the type of control proposed. (Copies of a specimen map are being forwarded to the regional office under separate cover for distribution to the field as a guide in the preparation of an ownership map).
- X Specifications for map to be entitled "Land Acquisition"
- A This map will be prepared to show only the boundaries of tracts as outlined on the "ownership map."
  - B This map will not be submitted as a part of the land acquisition plan but will be submitted later to the Division of Land Acquisition and used in recording the progress of acquisition. Instructions for the submission of this map will be issued by the Division of Land Acquisition.
- XI Arrangement of maps of plan
- A Maps accompanying the land acquisition plan will be bound together on the left hand margin near the top and bottom of the sheets by Acco paper fasteners. These maps will be arranged in the following order, top to bottom:

- (1) Project key map (top)
- (2) Public facilities and cultural features
- (3) Present land use
- (4) Classification of operated units
- (5) Projected land use
- (6) Ownership (bottom)

These maps will be submitted to the Washington office in a roll, not folded.

b Preparation of Supplementary Information

I The data supplementing that shown graphically will be limited principally to the information necessary (a) to interpret accurately the information shown graphically, (b) to define the criteria used in making determinations shown graphically and (c) for the guidance of the Land Acquisition Division in the optioning and acceptance of tracts or areas to be purchased. The supplementary information will be presented as concisely as possible.

II The supplementary information will be incorporated in Acco press binders labeled as follows:

LAND ACQUISITION PLAN  
(Official name of project)

PROJECT SYMBOL \_\_\_\_\_

Prepared (Date) \_\_\_\_\_

The information in the binder will be headed "LAND ACQUISITION PLAN FOR" (the official name of the project).

III The information in the body of the plan will be presented under headings as follows:

A Pattern of present land use and operated units

- (1) Source or sources of information shown graphically

(If the information was based on schedules used in the field, a copy of each schedule form will be included as Appendix A and appropriate reference made to the forms in the text)

(2) Classification of land as to present use

(The definitions used in establishing the various use classifications, the standards of accuracy adopted in obtaining information as to present use, and the accuracy with which the use classifications are shown graphically will be described. Where soil erosion is a problem, the effect and character of erosion will be described in detail)

(3) Classification of operated units as adequate or inadequate

(The criteria established for the classification of operated units as adequate or inadequate from the standpoint of their capacity to provide an adequate family living will be fully stated.

The physical production of the operated units in terms of crops, grazing capacity and forest production needed to make various types of units adequate will be fully stated.

A list of all operated units arranged numerically according to numbers on the operated unit classification map and showing tenure of operator, type of farm, probable normal cash income from the farm and the principal factors in order of their importance limiting the capacity of the farm to support a farm family will be included as Appendix B. Attached hereto as Exhibit D is a sample schedule of the kind to be included in the plan as Appendix B)

B Projected use of the land

(1) Source or sources of information shown graphically

(If the information was based on data collected in the field, a copy of the instructions followed will be included as Appendix C)

(2) Classification of land as to projected use

(The criteria established for determining the areas suitable for the various uses and the standards adopted as to detail of presentation will be fully stated. The normal average production of land in each projected major use in the entire project area will be stated in general terms)



C Pattern of adjustment in land use and control

(1) Proposed control of the use of land

(Reference will be made under this heading to the areas and types of ownership over which control of the use of the land is proposed and the means of control)

(2) Selection of tracts for purchase

(The criteria established for the selection of tracts for purchase will be fully defined. These criteria should be in general conformity with the policies set forth under paragraph 12 in this instruction and the types of tracts approved for purchase for the particular project by the Secretary.

A table will be included as Appendix D showing the ownership, present use and projected use of the acreage included in the plan and of the acreage proposed for purchase. A second table will be included as Appendix E showing the number of operated units by type for the area included in the plan and for the land proposed for purchase. The data for these tables may be obtained from the maps in the plan and need be only approximately accurate. Attached hereto as Exhibits E and F are sample tables of the kind to be included in the plan as Appendixes D and E.

The number and character of abandoned farm and ranch units proposed for purchase will be indicated in the text under this heading)

D Program of purchase

(1) Cost of land proposed for purchase

(An approved schedule of base values prepared for use in making appraisals will be included as Appendix F. This schedule will be prepared and approved in accordance with instructions issued by the Division of Land Acquisition. The acreage and cost of the land proposed for purchase that has already been optioned and the actual or estimated appraisal value of the remaining acreage proposed for purchase will be indicated. The probability of obtaining options on the remaining acreage proposed for purchase within the appraised values will also be indicated)

- (2) Community sentiment towards the proposed program of purchase

(The sentiment of the local community towards the proposed program of adjustment in land use and control including Federal acquisition will be indicated. Reference will be made to letters, statements, etc. on file in the project office indicating the attitude of local citizens towards the proposed program)

- (3) Attitude of proposed administering agency towards the proposed program

(The extent to which the proposed administering agency has participated in the preparation of the land acquisition plan should be stated. There should be included as Appendix G any letters or other documents indicating the attitude of the proposed administering agency towards the adjustment program contained in the plan)

- (4) Directions for the purchase of individual tracts

(Any directions for the guidance of the Division of Land Acquisition in the purchase of land subject to reservations, the purchase of exceptions, and the granting of life leases will be included under this heading. Mention should also be made of any priority which should be followed in the acceptance of options)

c Preparation of the Land Acquisition Plan by Segments of the Project Area

- I In many instances, it will be desirable, both from the standpoint of obtaining early approval for land purchase and from the standpoint of expediting the initiation of acquisition operations in the field, to prepare and submit the acquisition plan for only a portion of a project area. In such instances the portion or portions of the project area covered by the plan must be capable of treatment as one or more units involving adjustments consistent with the objectives of the project.

II The same procedure will be applicable in the preparation of the acquisition plan for a portion of the project area as for the project area as a whole. The acquisition plan first submitted for a portion of a project will include the project key map, and the other maps and supplementary information requested in these instructions covering the area embraced in the plan. The subsequent acquisition plans submitted for other portions of the project area will not include copies of the project key map, but will include the other maps and supplementary information requested covering the area embraced in the plan. To avoid unnecessary repetition in the presentation of the supplementary information, reference may be made to the supplementary information included in plans previously submitted at points where it has application.

III The map sheets accompanying acquisition plans submitted for only a portion of a project area will show all graphic information submitted in previous plans for the same map sheets.

IV When the final portion of the land acquisition plan is received, it will contain the supplementary information required in the present instruction summarized for the entire project area.

V Land acquisition plans covering only a portion of a project area will be designated as part 1, part 2, etc., of the land acquisition plan for a project. The plan submitted last and containing information summarized for the entire project area will be designated by the word "complete" in parenthesis after the words "Land Acquisition Plan" on the cover of the plan book.

8 PREPARATION OF LAND ACQUISITION PLANS FOR BLOCKING IN OLD PROJECTS:

a The land acquisition plan prepared for the blocking in of old projects will serve both as a preliminary proposal and as the plan for acquisition. This instruction supersedes all previous instructions relating to the preparation of preliminary proposals for the blocking in of old projects.

b The land acquisition plan will be prepared on the basis of utilizing only those funds available this fiscal year for the blocking in of a project. Although the tracts proposed for purchase with the funds available this fiscal year will be indicated, a second priority list may be included in the plan for consideration in the event some of the tracts in the first priority group cannot be purchased.

c Maps

I Only two maps are required. One of these maps will show the location of the problem area or areas within which the project lies, and all of the proposed and existing projects within it or them. This map may be on any convenient scale that shows clearly the relationship of the existing and proposed projects to the problem area or areas.

II The second map will be prepared from the original ownership map for the old project. This map will show, in addition to the information already on the ownership map, the following:

A Tracts acquired or in process of acquisition

(All tracts which have been acquired and all tracts which have not been acquired but for which options have been accepted or condemnation recommended to the Department of Justice will be shown in yellow)

B Tracts proposed for purchase, distinguished as to priority

(Tracts first in priority will be shown in blue; tracts second in priority will be shown by blue cross-hatching)

d Supplementary Information

I Supplementary information will be presented in a manner similar to that for new projects, under the following headings:

A Location of project with respect to problem areas

(The problem area or areas within which the project is located will be described, and the relationship of existing or proposed projects to those areas indicated. Reference may be made to the description of the problem areas involved contained in the preliminary land acquisition plans for the old projects and the descriptive material limited to such supplementary information not included in the preliminary plans describing the problem areas as is now available)

B Plan of management and administration for the project

(This may be limited to a brief digest of the plan of management and administration, supplemented by details as to proposed management and administration not previously submitted)



C Reasons for request to expend additional funds for land purchase

(This should be limited to an enumeration of the reasons for requesting additional funds)

D Description of land proposed for purchase

(The total acreage proposed for purchase will be classified by types of ownership, major uses of land and projected land use. The number of operated units proposed for purchase will be indicated by type of farm. The acreage and operated unit classifications will be presented in a manner similar to that shown in Exhibits E and F.

There will be included as Appendix A, using separate sheets for each tract, the following information:

- (1) Legal description - in unsectionalized areas the location of the tract, if a tract number has not been assigned, may be described in its relationship to other tracts which have been acquired or are in process of acquisition.
- (2) Name of owner
- (3) Occupancy and present use - the tenure of the operator, if any, and the acreage of land in each major use will be indicated.
- (4) Physical characteristics - the topography and general soil characteristics, and the general character of the cover will be indicated.
- (5) Projected uses of the land - the acreage by major uses will be shown.
- (6) Purchase price - per acre and total.
- (7) Improvements - the general character of the improvements and their value will be indicated.
- (8) Status of acquisition - the status of any option previously taken will be indicated, also the present attitude of the owner towards the sale of the tract.
- (9) Reasons for acquiring - the particular respects in which the tract qualifies for acquisition under the Bankhead-Jones Farm Tenant Act and the proposed use of the land in connection with land already acquired or in process of acquisition should be indicated.

The data summarized as to acreage in each major use, the type of ownership, etc., should check with the information shown for individual tracts in Appendix A)

E Directions for the purchase of individual tracts

(Any instructions for the guidance of the Division of Land Acquisition in the purchase of land subject to reservations or interests outstanding in third parties or in the priority of acceptance of options will be indicated)

F Budget

- (1) The budget will be presented as follows:

<u>Item</u>	<u>Total Cost</u>	<u>Commitments to June 30, 1938</u>
Land	\$ _____	\$ _____
Acquisition		
Salaries	_____	_____
Travel	_____	_____
Abstracts	_____	_____
Procurement	_____	_____
(Exclusive ab- stracts)		
Total	\$ _____	\$ _____

The figures for commitments to June 30, 1938 must, of course, be estimates. They will include all actual expenditures and all legal obligations to pay as of that date.

- (2) The acquisition cost estimates will be confined to "on site" costs. The costs of closings will be included as an "on site" cost.
- (3) The number of persons to be employed in acquisition work, their duties, salary and the period of their employment will be indicated.

9 ROUTING AND APPROVAL OF THE LAND ACQUISITION PLAN:

- a The information supplementing the maps and incorporated in ACCO press binders will have a cover sheet as follows:

UNITED STATES DEPARTMENT OF AGRICULTURE  
BUREAU OF AGRICULTURAL ECONOMICS  
DIVISION OF PROJECT ORGANIZATION

LAND ACQUISITION PLAN (PART \_\_\_\_)  
(Project Name)  
(Project Symbol)  
(Date plan prepared)

Recommended by \_\_\_\_\_  
Project Manager Date

Recommended by \_\_\_\_\_  
Regional Director Date

Approved by \_\_\_\_\_  
Head, Division of Date  
Project Organization

- b Four copies of the ownership map (including the ownership map submitted with the plan for blocking in old projects), three copies of all other maps, and four copies of the information supplementing the maps will be prepared. The project manager will recommend approval of the plan by placing his signature in ink on the cover sheet for all four copies of the supplementary information and on all four copies of the ownership map showing tracts proposed for purchase. One copy of all maps and one copy of the supplementary information will be retained in the project office for filing. The remaining three copies of the ownership map (including the ownership map submitted with the plan for blocking in old projects), two copies of all other maps, and three copies of the supplementary information will be forwarded to the regional office.
- c The regional director will recommend approval of the plan by affixing his signature in ink to the cover sheet in all three copies of the supplementary information. The regional director will also sign in ink all three copies of the ownership map on which the tracts proposed for purchase are indicated. One copy of all maps and one copy of the supplementary information will be held in the regional office for

filing. The remaining two copies of the ownership map (including the ownership map submitted with the plan for blocking in old projects), one copy of all other maps, and two copies of the supplementary information will be forwarded to the Head of the Division of Project Organization.

- d In order that copies may be incorporated in the plan folder, the letter of transmittal of a land acquisition plan to the Washington office will be submitted in triplicate.
- c The Head of the Division of Project Organization will notify the regional office of the approval of the acquisition plan.

10 MODIFICATION OF APPROVED LAND ACQUISITION PLANS:

- a Modification of an approved acquisition plan will be obtained through the same procedure as was followed in obtaining approval for the original plan. Upon approval, the maps or other documents involved will be incorporated in the plan and the original documents marked "Superseded (date)".
- b From time to time, it will be found necessary in the course of the acquisition operations to acquire scattered tracts not proposed for purchase in the approved plan. A list of such tracts giving the tract number, legal description, and principal reason and justification for purchase of each tract will be submitted simultaneously with the options for the tracts. The routing and approval of these lists will be in accordance with the procedure followed in securing approval of the original plan. When approved by the Washington office, the lists will be incorporated in the copies of the acquisition plan and the additional tracts proposed for purchase will be indicated on the ownership map.
- c Whenever, as a result of continued changes in the tracts proposed for purchase or of inability to acquire the tracts originally proposed for acquisition in the plan, the pattern of adjustment in land use and control originally approved has been significantly changed or must be changed, modification of the plan will be obtained through submission of an ownership map revised to show the list of tracts now proposed for purchase and revised supplementary information concerning the pattern of adjustment in land use and control.
- d On projects where an acquisition plan is prepared for only a portion of a project area, all requests for modification in the information supplementary to the maps must be confined to that portion of the project area covered by the plan.



11 AUTHORIZATION TO INITIATE ACQUISITION:

- a As soon as the purchase program for a segment of the project area has been approved by the Head of the Division of Project Organization, or his authorized field representative, the regional director, subject to such requirements as may be established by the Division of Land Acquisition, may initiate the appraising and optioning of land. This authorization will be based upon approval in writing of a statement, supplemented by a map, indicating in general the tracts which should be acquired. The regional director will forward two copies of the statement and accompanying information to the Head of the Division of Project Organization.
- b Both appraising and optioning may proceed on the basis of this preliminary authorization but no options will be recommended for acceptance by the project manager until the land acquisition plan has been prepared and recommended by him. The recommendation of the regional office for the acceptance of options will also follow or be made simultaneously with its recommendation for approval of the acquisition plan. No options will be accepted by the Washington office until the land acquisition plan has been approved by the Bureau.

12 GENERAL POLICIES:

a Conformity with Departmental Policy

- I Certain broad policies relating to the direction and operation of the land conservation and land utilization program under Title III of the Bankhead-Jones Farm Tenant Act were outlined in the Secretary's memorandum for the Chiefs of Bureaus and Offices dated September 25. A copy of this memorandum, which is for official information and use only, is attached as Exhibit G.
- II Field offices will be advised of any modification of these general departmental policies which may result from action being taken presently on various preliminary proposals for new projects.

b Selection of Tracts for Purchase

- I Tracts will be selected for purchase in conformity with the general provisions set forth in the memorandum approved by the Secretary authorizing a project. Copies of this memorandum will be forwarded to the regional office with the notification of the approval of the project by the Secretary. More detailed criteria to guide the field staff in the selection of tracts for purchase will be issued later.

c Effecting Adjustments in Land Use by Means Other Than Land Purchase

- I The acquisition of land will be considered only as an instrument implementing the effecting of proper adjustments in land use and control. Every method of effecting adjustments within a reasonable time by means other than land purchase will be explored and utilized wherever practicable.
- II The selection of tracts for purchase will be made with full consideration of the possibility of using other means of control to effect the desired adjustments in land use, thereby keeping the expenditures for land to a minimum.

d Purchase of Parts of Operated Units

In general, parts of operated units, particularly those in one ownership, should not be acquired. Such purchases must be specifically justified by a showing that the land to be acquired qualifies for purchase and (a) is a "key" tract; or (b) does not merely substitute for a unit in private ownership, a unit principally (except, e.g., for ranch headquarters and crop land) in government ownership; or (c) does not convert an economic unit into a non-economic unit.

e Acquisition of Land by Condemnation

- I It will be the general policy not to acquire land through the exercise of the right of eminent domain. Consideration will be given to the acquisition of land from owners who are unwilling to sell only in those cases where the tracts are of exceptional importance to the project. All cases involving the institution of condemnation proceedings to acquire land from owners who are unwilling to sell will be submitted and recommended by the regional director to the Head of the Division of Project Organization with a detailed statement of the facts which formed the basis for the conclusion that each tract is absolutely essential to the success of the project. The director will also indicate whether local public sentiment is generally favorable or unfavorable to the proposed condemnation action. The Division of Project Organization will make recommendations for appropriate action by the Division of Land Acquisition.
- II Condemnation to clear the title to tracts already accepted for purchase will be handled direct by the Division of Land Acquisition.

f Purchase of Land Subject to Exceptions (Interests Outstanding in Third Parties)

- I It will be the general policy not to acquire interests outstanding in third parties when to do so would involve considerable delay or expensive proceedings, unless the interest is of a kind that may seriously interfere with the projected use of the land and the achievement of the objectives of the project.

g Purchase of Land Subject to Reservations (Interests Retained by the Vendor)

I Life leases

- A Life leases (not life estates) may be granted families which are, or are likely to become, dependent or semi-dependent upon the public for support when it would appear that the best interests of the public would be served by their remaining where they are. Life leases will not be granted when either party is less than 60 years of age until a statement has been submitted by the regional director to the Head of the Division of Project Organization for appropriate action indicating the desirability of granting the life lease. (This statement should be submitted with the land acquisition plan wherever possible).
- B The value of life leases will be determined in accordance with instructions issued by the Division of Land Acquisition and paid by the vendor at the time of payment of the purchase price of his land.

II Reservation of sub-surface rights

- A It will be the general policy to acquire land without reservation of sub-surface rights in all instances where the minerals have no recognized market value. In cases where the vendors insist on reserving the rights to oil, gas or other minerals which have no market value, a deduction will be made from the purchase price as provided in instructions issued by the Division of Land Acquisition.
- B Sub-surface rights with a value appreciably in excess of \$1 per acre will not be acquired generally unless failure to acquire such rights will prevent realization of the general objectives of the project. In instances



where it is proposed to acquire mineral rights at a cost appreciably in excess of \$1 per acre, the reasons for their purchase will be incorporated in a statement submitted by the regional director to the Head of the Division of Project Organization for appropriate action. (This statement will be included in the land acquisition plan wherever practicable).

### III Reservation of timber

- A As a general policy, timber will be acquired with the land unless it is mature, has a large total value per acre, and arrangements can be made for harvesting the crop in conformity with standard forestry practices without seriously interfering with the objectives of the project.
- B Immature stands of timber will be acquired with the land.

### IV Reservation of improvements

- A It will be the general policy to permit the reservation of improvements by the vendor provided such improvements are removed within a specified time and are not needed in connection with the development of the project. Exceptions to this general policy will be those instances in which the improvements, if reserved, would be subject to use in a manner detrimental to the general land conservation and land utilization program.
- B The value of improvements which are reserved will be determined in accordance with instructions issued by the Division of Land Acquisition.

### V Reservation of right to occupy and crop

- A It will be the general policy to permit vendors to continue living on, and to crop, land for a period not to exceed one cropping season after payment therefor, provided the reservation does not interfere seriously with the program for the project and the vendor has not made satisfactory arrangements for relocating.

### h Purchase of Land Now in Public Ownership

- I It will be the general policy not to purchase county-owned land or other land already in public ownership. In instances where the purchase of such land appears absolutely necessary in order to carry out a practical program for the project,

purchases may be made upon submission by the regional director to the Head of the Division of Project Organization for appropriate action of a statement setting forth in detail the justification for purchase including reasons why the proper use and control of the land cannot be worked out within a reasonable time by means other than purchase. (This statement should be made a part of the land acquisition plan submitted for the project).

i Local Participation in Proposed Program

- I The ultimate success of the program for the project is dependent upon local support and cooperation. Local citizens should feel that it is their program. Every opportunity should be taken to acquaint fully all people in the project area with the aims and objectives of the project. General approval by the community of the program of purchase in an area should be obtained before any options are recommended for acceptance.

j Use of Aerial Surveys

- I In areas where no information basic to the planning of the project is available, an aerial survey may be desirable. Approval for such a survey may be obtained through submission to the Division of Project Organization of a detailed statement as to cost of survey, purposes it is to serve, and the savings in terms of time and money, to be effected as a result of the survey. (This statement should be submitted as a part of the work statement required under paragraph 5)

Attachments





EXHIBIT A

PROJECT PLANNING WORK STATEMENT

(Name of Project)

(Location: Counties and State)

(Project Headquarters)

Prepared \_\_\_\_\_  
(Date)



Form LU-PO 1  
November 30, 1937

Page 1 of 3 pages

United States Department of Agriculture  
Bureau of Agricultural Economics  
Division of Project Organization

DESCRIPTION OF INDIVIDUAL PLANNING OPERATION

(See reverse side for instructions)

1. Type of Work \_\_\_\_\_ 2. Work Unit No. \_\_\_\_\_

3. Scope and Character of Available Information

4. Scope and Character of Information to be Obtained

5. Purpose of Obtaining Information Described under Item 4

## INSTRUCTIONS

Copies of this form will be filled out for each type of work - farm and ranch survey, cover survey, water survey, land classification survey, public finance survey, etc. Clerical and professional personnel employed throughout the period of the planning work and engaged in several types of work will be included under the type of work described as "general administrative and clerical" which will also include miscellaneous items of procurement not chargeable to other types of work.

The total estimated cost of the types of work described on this form will embrace all costs of planning the project, including preparation of plans for acquisition, development, management and administration, and institutional adjustments. The cost of services and equipment contributed towards planning the project by other Divisions engaged in the Land Utilization program and by Divisions and Agencies outside of the Land Utilization program will be included except for the costs of regional and Washington office personnel contributing general administrative and technical supervision. The total cost of planning the project must be held to a minimum and the amount to be paid from funds allocated to the Division of Project Organization must not exceed the budget available for the project.

If the space provided in the form is not sufficient to show the information required, extra sheets will be used and attached as page 4, 5, etc.

The following comments relate to the particular items of information requested in the form:

Item 1 - Insofar as possible uniform descriptions will be used within the region to indicate the types of work.

Item 2 - The various types of work will be numbered consecutively beginning with "general administrative and clerical" as work unit number 1.

Items 3 and 4 - Self-explanatory.

Item 5 - The use to be made of the information obtained in the preparation of detailed plans for a project and in working out the desired adjustments will be indicated.

Item 6 - The methods to be followed in obtaining the information, use of schedules, visit to individual farms, etc., the means of transportation, and the extent to which personnel can travel in groups will be shown.

Item 7 - The extent of cooperation from other Divisions and Agencies and the nature of their contribution will be shown. Reference will be made to any cooperative agreements which may have been entered into with other Divisions and Agencies and copies of such agreements attached.

Item 8 - All of the positions to be filled by persons having dissimilar duties or salary rates will be listed in Column 1. The number of persons to be employed in each position and the total number of months they are to be employed will be shown in Columns 2 and 3. The estimated cost of salary will be obtained by multiplying the total months of employment (Column 3) by the monthly salary (Column 4). The cost of items of procurement will be shown as a total in Column 8. The costs will be broken down by divisions supplying personnel even though the costs are to be paid from funds allocated to the Division of Project Organization.



6. Description of Field Procedure to be Followed

7. Cooperation from Other Divisions and Agencies (Any cooperative agreements with other agencies will be attached to this form and referred to under this heading)



Grand Total	:	:	:	-	-	:	:	:	:	:
-------------	---	---	---	---	---	---	---	---	---	---





SCHEDULE AND ESTIMATED COST OF PROJECT PLANNING, BY TYPES OF WORK

Project Name \_\_\_\_\_

Work:		: Estimated cost broken down by divisions or agencies												: Total					
Unit:		: supplying personnel 3/												: Estimated					
No.:	Type of Work 1/	Work Schedule 2/												Division	Division	Division	Division	Other Divi-	Cost 5/
:	:	July:	Aug.:	Sept.:	Oct.:	Nov.:	Dec.:	Jan.:	Feb.:	Mar.:	Apr.:	May:	June:	Proj. Or-	Land	Land	Land	sions or	:
:	:	:	:	:	:	:	:	:	:	:	:	:	:	ganization:	Dev.	Acq.	Economics:	Agencies 4/	:
:	:	:	:	:	:	:	:	:	:	:	:	:	:	Dollars	Dollars	Dollars	Dollars	Dollars	Dollars
1	General administrative and clerical (including miscellaneous overhead costs)	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:
2	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:
3	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:
4	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:
5	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:
6	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:
7	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:
8	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:
9	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:
10	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:
:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:
Total estimated cost		:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:

Summary by Divisions or Agencies Supplying Personnel 3/							Cost		Comments
Agency	:	:	:	:	:	:	:	:	
	Salary	Travel	Per Diem	Procure-	Total	:	per	:	
	:	:	:	ment	:	:	Acre	:	
	Dollars	Dollars	Dollars	Dollars	Dollars	Dollars			
Project Organization	:	:	:	:	:	:	:	:	
Land Development	:	:	:	:	:	:	:	:	
Land Acquisition	:	:	:	:	:	:	:	:	
Land Economics	:	:	:	:	:	:	:	:	
Other Divisions or Agencies	:	:	:	:	:	:	:	:	
Total	:	:	:	:	:	:	:	:	

Recommended by \_\_\_\_\_ Date \_\_\_\_\_  
(Regional Director)

Approved by \_\_\_\_\_ Date \_\_\_\_\_  
(In Charge, Division of Project Organization)

1/ Each type of work described on Form LU-PO 1 will be listed in order of work unit numbers beginning with general administrative and clerical as work unit number one.  
2/ The period during which each type of work is to be done will be indicated by a line drawn through the months or portions of months involved.  
3/ The estimated costs will be in conformity with the estimates shown on Form LU-PO 1. An asterisk (\*) will be used to indicate costs to be paid by divisions or agencies other than Project Organization.  
4/ The names of the other Divisions or Agencies will be indicated in the space provided for "Comments."  
5/ The percentage of the total estimated cost of all work that will be incurred in the planning for (a) acquisition, (b) development, (c) management and administration, and (d) institutional adjustments will be indicated in the space provided for comments.



(Sample) \*

PROJECT ORGANIZATION PERSONNEL CHART  
Blue River Project, 1937-38

: Project Manager :

: Job No. :	Project Organization Staff		:
: 1 :	: Ass't. Agr. Econ. (Planning Spec.) :	: P-2 :	: \$2600 :
: 2 :	: Ass't. Clerk :	: CAF-3 :	: 1620 :
: 3 :	: Jr. Clerk :	: CAF-2 :	: 1440 :
: 4 :	: Jr. Draftsman :	: CAF-2 :	: 1440 :
: 5 :	: Under Clerk Typist :	: CAF-1 :	: 1260 :
: :	: :	: :	: :
: :	: :	: :	: :

: Job No. :	: Land Classification :	: Job No. :	: Farm Survey :	: Job No. :	: Water Resources Survey :
: 6 : : 7 : : 8 : : 9 : : 10 :	: Jr. Agr. Econ. (Land Class.) : Clerk. (Land Class.) : " " " : Ass't Clerk (Land Class.) : " " " "	: P-1 \$2000: : CAF-4 1800: : CAF-4 1800: : CAF-3 1620: : CAF-3 1620:	: 11: Jr. Agr. Econ. (Enumerator) : 12: Clerk (Enumerator) : 13: Ass't. Clerk ( " ) : " " : " "	: 14: Jr. Eng. (Leader) : 15: Eng. Aide (Ins. Man) : 16: Under Eng. Aide (Rodman) : " " : 17: Minor	: P-1 \$2000: : SP-5 1800: : SP-2 1260: : " " : SP-1 1020:

1/ For period of employment see "Project Organization Budget".  
2/ To be detailed from Division of Land Economics staff but paid from funds allocated to Division of Project Organization for period employed on project.

3/ To be detailed from Division of Project Development staff but paid from funds allocated to Division of Project Organization for period employed on project.

Project Pay Roll Dec. 1, '37 - June 30, '38 - \$9,731.67

\* A chart of the Project Organization personnel similar to this sample will be prepared for each project and will be submitted as a part of the Project Planning Work Statement in the same position which this sample occupies in this exhibit. On some projects, it may be necessary to combine two or more of the specialized types of work in one section of the chart because of the fact that certain personnel will be employed on more than one phase of the project investigations. For description of salary grades and titles, see "Personnel Procedure" - LU-BA-1.

Date





(Sample) \*

SUMMARY OF PROJECT ORGANIZATION STAFF  
BY SALARY GRADES AND TYPES OF WORK 1/  
Blue River Project, 1937-38

Type of Work 2/	No. of Employees										Total	Project			
	Prof. and Sub-Prof.					Clerical									
	P-2:	P-1:	SP-5:	SP-2:	SP-1:	Total:	CAF:	CAF:	CAF:	CAF:			Total:		
	:	:	:	:	:	:	:	:	:	:			:		
	:	:	:	:	:	:	:	:	:	:			:		
General Administrative and Clerical	:	:	:	:	:	:	:	:	:	:	:	:			
	1	:	:	:	:	1	:	1	2	1	4	:	5	8,360	4,876.67
	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:
Land Classification	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:
	:	1	:	:	:	1	2	2	:	:	4	:	5	8,840	1,473.33
	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:
Farm Survey	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:
	:	1	:	:	:	1	1	1	:	:	2	:	3	5,420	1,355.00
	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:
Water Resources Survey	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:
	:	1	1	1	1	4	:	:	:	:	:	:	4	6,080	2,026.67
	:	:	:	:	:	:	:	:	:	:	:	:	:	:	:
Total Staff	:	:	:	:	:	7	:	:	:	:	10	:	17	28,700	9,731.67

1/ For period of employment and division or agency supplying personnel, see "Project Organization Budget".  
2/ The types of work listed do not include all the types which may be necessary on any specific project.

\* The salaries, grades, and types of work under which the Project Organization staff will be employed will be summarized in a manner similar to that presented in this sample tabulation. The data presented in this tabulation will be based upon and coincide with the information presented in the Project Organization Personnel Chart (See sample of latter on preceding page).

Date



(Sample) \*

PROJECT ORGANIZATION BUDGET  
Blue River Project, 1937-38  
188,678 acres

A. Office Staff

Job No.	Position	Type of Work	Period	Total Period	Division	Annual Salary	Total for Period
:	:	:	:	:	:	:	:
1	Ass't. Agri. Econ.	Gen. Adm. - In Charge	7 mo.	7 mo.	P. O.	\$2600	\$1,516.67
2	Ass't. Clerk	Gen. Cler.	7 "	7 "	P. O.	1620	945.00
3	Jr. Clerk	Gen. Cler.	7 "	7 "	P. O.	1440	840.00
4	Jr. Draftsman	Land Class.	3 "	3 "	:	:	:
:	:	Water Res. Sur.	4 "	7 "	P. O.	1440	840.00
5	Under Clk.-Typ.	Gen. Cler.	7 "	7 "	P. O.	1260	735.00

B. Personnel on Field Duty

6	Jr. Agri. Econ.	Land Class.	2 "	2 "	L. E.	2000	333.33
7	Clerk	Land Class.	2 "	2 "	L. E.	1800	300.00
8	Clerk	Land Class.	2 "	2 "	L. E.	1800	300.00
9	Ass't. Clerk	Land Class.	2 "	2 "	L. E.	1620	270.00
10	Ass't. Clerk	Land Class.	2 "	2 "	L. E.	1620	270.00
11	Jr. Agri. Econ.	Farm Survey	3 "	3 "	P. O.	2000	500.00
12	Clerk	Farm Survey	3 "	3 "	P. O.	1800	450.00
13	Ass't Clerk	Farm Survey	3 "	3 "	P. O.	1620	405.00
14	Eng. Engineer	Water Res. Sur.	4 "	4 "	P. D.	2000	666.67
15	Eng. Aide	" "	4 "	4 "	P. D.	1800	600.00
16	Under Eng. Aide	" "	4 "	4 "	P. D.	1260	420.00
17	Minor Eng. Aide	" "	4 "	4 "	P. D.	1020	340.00
:	:	:	:	:	:	:	:
Total			66	66			\$9,731.67

/ Certain employees, although working on the project under administrative direction of the Div. of Proj. Organ., will be carried on the rolls of other Divisions as indicated. Such employees will be payrolled against the Proj. Budget of the Div. of Proj. Organ. for the period of their employment by the Div. of Proj. Organ. P. O. indicates Div. of Proj. Organ.; P.D., Div. of Proj. Develop. and L.E., Div. of Land Economics.

\* A budget similar to the one presented here will be prepared for each project to coincide with the data presented in the two preceding items (Project Organ. Personnel Chart and Summary of Project Organ. Staff).

Date

Travel & Per Diem  
Procurement  
Total Budget  
\$15,459.67





(Sample) \*

### Description of Duties

#### Job Description No. 1

Title: Assistant Agricultural Economist (Planning Specialist)

Grade: P-2

Annual Salary: \$2600

Duties: Under the immediate authority of the project manager and with considerable latitude for independent action, to supervise and direct the operations of the personnel engaged in detailed planning of the project; specifically, to supervise and direct the preparation of the detailed plans for land acquisition, development, use and management, and correlated adjustments; to meet with and obtain from local citizens support for the program for the project; to recommend to the project manager appropriate action for remedying irregularities in the execution of approved plans; to maintain such records of operation of the planning personnel and to make such reports of operations as may be called for by his superior.

#### Job Description No. 2

Title: Assistant Clerk

Grade: CAF-3

Annual Salary: \$1620

Duties: Under the direction of the Assistant Agricultural Economist (Planning Specialist) to be responsible for the analysis, correlation and integration of information obtained through field investigations; to supervise the preparation of statistical and other information for incorporation in the detailed plans; and to assist in the preparation of such plans.

(Etc.)

\* A description of the duties of each position in the Project Organization Staff shown on the Project Organization Personnel Chart including positions to be filled by personnel detailed from other divisions or agencies will be prepared in the form here indicated.



FARM AND RANCH SCHEDULE  
(SEE ATTACHED EXPLANATION AND INSTRUCTIONS FOR USE OF SCHEDULE)

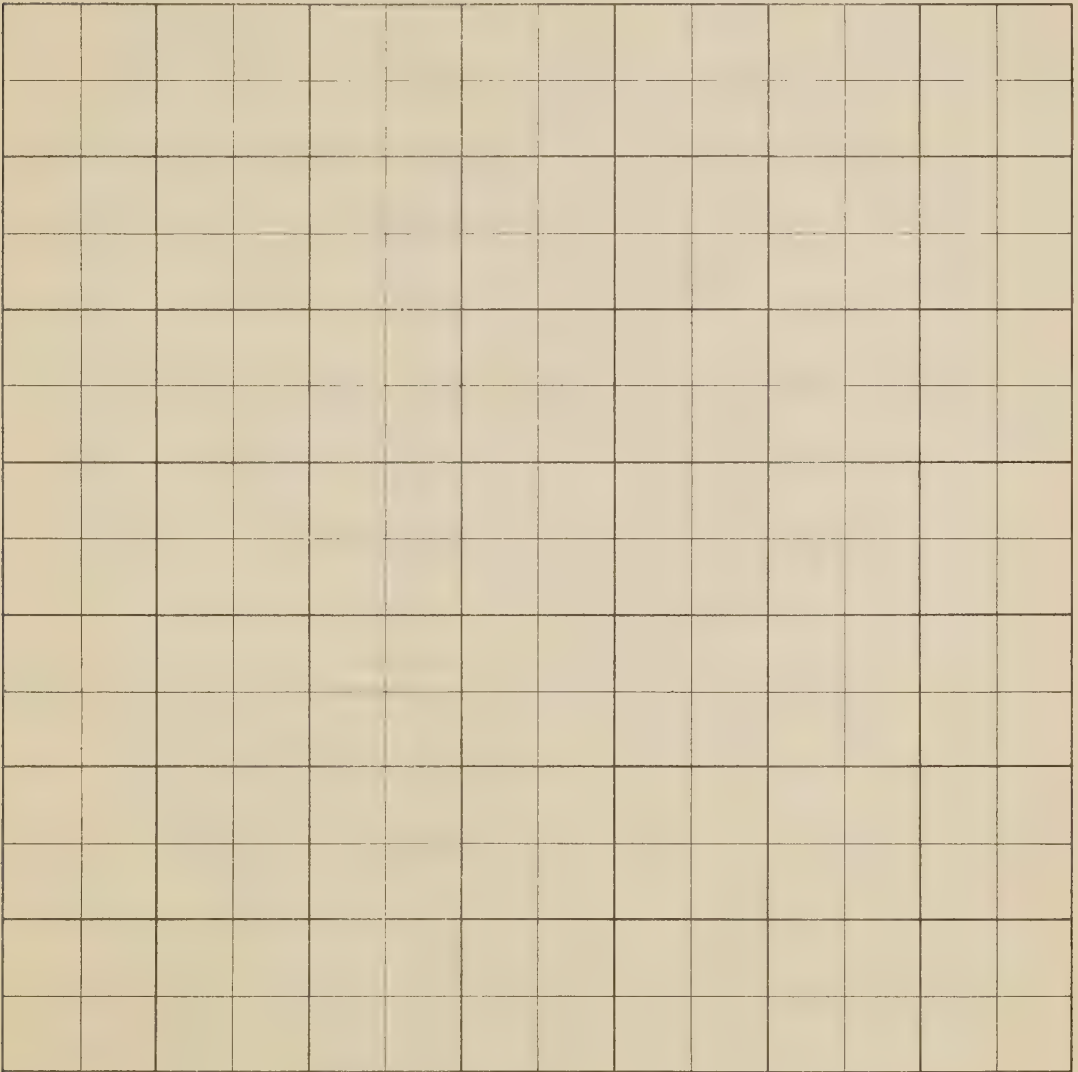
OPERATOR'S NAME \_\_\_\_\_ ADDRESS \_\_\_\_\_ OPERATOR'S NUMBER \_\_\_\_\_

1. PLAT OF OPERATING UNIT

(USE ADDITIONAL SHEETS IF NECESSARY)

COUNTY \_\_\_\_\_ TOWNSHIP \_\_\_\_\_ RANGE \_\_\_\_\_

0 1 2 3  
SCALE OF MILES



RED  
OUTLINE

LANDS OWNED



IDLE CROPLAND (INDICATE YEARS  
SINCE FIELDS WERE CROPPED  
AND PRESENT CONDITION\*)



STOCK SHELTERS AWAY  
FROM HEADQUARTERS



WELLS

GREEN  
OUTLINE

LANDS LEASED



SURFACE OR SUB-IRRIGATED LANDS



INDICATE SECTION  
NUMBERS AT CENTER  
OF SECTION



SPRINGS



HAY MEADOWS



HEADQUARTERS BUILDINGS



RESERVOIRS



OTHER CROPLAND  
(IN CROP)



FENCES MAINTAINED

BLUE  
LINE

OTHER WATER













EXPLANATION AND INSTRUCTIONS  
FOR THE USE OF THE  
FARM AND RANCH SCHEDULE

It is intended that the Farm and Ranch Schedule will be used to collect informative data from all operators in the project area. The information obtained will serve as a basis for planning the land-use adjustment within the project area.

Following is a brief explanation of the items contained in the schedule:

1. Plat of Operating Unit.

In all cases the plat will be prepared on a scale of two inches to the mile regardless of the size of the unit. When the unit consists of widely separated tracts it may be possible to show two or more tracts on the same plat, even though the distance separating the tracts is greater than the space on the plat would indicate. In such instances, however, the platted tracts should not join, and the appropriate section numbers (and different township and range numbers, if necessary) should be shown.

All information shown on the plat will represent the present picture of the unit. The legend must be strictly adhered to.

Hay meadows will be fields of native hay or tame perennial hay.

Other cropland (in crop) is that which was seeded during the season of 1937.

Idle cropland will be that which was not seeded during 1937. The present condition of the fields will be indicated by simply writing in the words "summer fallow", or "russian thistle" or other terms which briefly describe the present condition. The years since fields were last cropped will be indicated by writing a number representing the number of years inside the areas which outline the fields.

The other parts of the legend are self-explanatory.

2. Land Inventory.

The portion of this table which shows the acreage figures for 1937 will represent only those lands which have been shown on the plat of the unit. The acreages usually operated will be the average which the operator has had during the period he has been in the area.

3. Livestock Inventory.

The figures showing the usual number of livestock run on the unit will be the average maintained by the operator during the period he has been in the area. The figures showing the present number will be the current inventory.





An animal unit means a cow, bull, or steer, or five sheep over six months of age on the first day of May of the year in which the animals are being counted. Two horses shall be equivalent to three animal units. Natural increase under six months of age on the first day of May shall not be counted. Where the state law or local practice defines the term differently, the local definition will be used.

The percentage of the number of stock grazed in the project area will be determined by asking the operator where he grazes his stock during the grazing season. If any are grazed outside the area, or if all or a portion are grazed outside the area for a part of the grazing season, the percentage so grazed will be calculated and deducted from 100 percent, after determining the length of the winter feeding period. For example, an operator runs 100 animal units; he grazes 50 outside the area for 4 months each year; his winter feeding period is 4 months; therefore, 75% of the grazing is accomplished within the project area.

#### 4. Livestock Operations.

Indicate whether or not the operator raises purebred stock, whether or not he uses registered bulls and specify the breed.

The winter feeding period is that portion of the year when the stock are kept on or near the headquarters and are fed, or grazing on winter range as distinguished from summer range.

The estimate of carrying capacity will not necessarily be the usual practice, (particularly if the grazing lands appear to have suffered from overgrazing), but should be an estimate of the rate of stocking the operator would follow if adequate grazing lands were available.

If the operator has usually grazed his stock on free range, indicate the number and kinds so grazed. If possible, show the legal description of the lands grazed free of charge. If the operator's stock have grazed on the free range with the stock of other operators, make a statement to that effect on the schedule.

If the operator plans to graze any stock outside the project area, show the number of stock and, if possible, give the legal description of the lands to be grazed.

Show briefly the usual practices in connection with the purchase of hay, concentrates or other feed for livestock.

#### 5. Cropping Plan.

The information with regard to usual practices should relate to the farm on which the operator is now located, even though the acreage represented will be different from the acreage usually operated as shown in Item 2, Land Inventory. The long time average yields will be a conservative estimate of the production over the period during which the operator has farmed the lands.



If any of the crops are produced on irrigated lands, indicate this fact thus in the acreage planted column: 120 irrig.

The other crops will include gardens, orchards, etc.

The equipment and the machinery of the operator may be adapted to wheat farming, or combination cash crop and livestock production, or ranching, etc. If the operator has some heavy equipment, such as tractors, combines, etc., indicate how many of each.

#### 6. Water Supply for the Operating Unit.

In the case of each type of water source, indicate the location by legal description or other specific description in order that the source may be identified on the plat. In the space after "accessibility" indicate the location with respect to topography (whether upland, flat, valley bottom, shallow drain, etc.) and with respect to the accessibility as a stock watering place. In the case of wells show the name and address of the driller, and the year and season of the year when the well was drilled. Under "type" of well indicate whether it was drilled, dug, bored, driven, or jetted. Under "casing" show the type (galvanized, cast iron, wood, concrete, stone or brick curb), size, and depth to which the well is cased. Show the depth from the surface to water. Indicate type of power, such as hand pump, windmill, gas engine, etc. If the well is an artesian well, indicate this fact and also the flow in gallons-per-minute. Under use of the water show if it is used for domestic supply, livestock, irrigation, etc. Show the kinds and number of head of stock served, if any. Under adequacy, indicate whether or not the source meets the demands placed upon it, seasons of deficiency, etc. Under quality, indicate desirability of the water for use, color or odor, if significant, alkalinity, hard or soft. Under sanitary conditions, indicate proximity to barns or latrines, precautions which have been taken to prevent pollution, etc.

In case of springs indicate developments, how prepared as a drinking basin, whether piped to tank or other storage. Estimate the flow in gallons per minute. (G.P.M.)

Under type of surface storage, show whether it is a reservoir, cistern, pond, etc. Under general condition, indicate evidences of washing, needs for repair or improvement, and apparent permanency.

Other parts of this item are self-explanatory.

#### 7. Miscellaneous Information.

Most of these questions need no explanation. However, the following comment is made:



Other sources of income should not include A.A.A. payments, seed loans, feed loans or direct relief. Special arrangements for attending school may include boarding children in town, providing transportation other than school bus, etc. The questions concerning sale of lands or removal from the area need not be asked if it appears that the operator should remain in his present location.

It may appear in some instances that the question concerning relocation should be approached in a different manner. The interviewer will be able to judge this fact after discussing other items with the operator.

The operator's comments regarding adjustments and farming practices need not be confined to the space provided if he has some pertinent ideas which may be helpful in further analyzing the problems of the area or in planning adjustments for the community.

The interviewer will be in a position, after obtaining the information requested in the schedule, to judge the personal qualifications of the operator, to form an opinion as to the adjustments needed for the unit and to briefly describe the general condition of the unit. He should also be able to indicate whether or not all or part of the unit should remain in private ownership because of desirability as a feed base for livestock operation or because of other factors, and to indicate, on the plat, if possible, which parts of the unit would qualify as being desirable for private ownership. The interviewer will insert his opinions on these points in the space provided at the end of the form. Additional sheets may be added if necessary.





Exhibit C

Administration Data 1

Order, Instruction or Notice Designation and Number

**RESETTLEMENT  
ADMINISTRATION**

DATE

September 3, 1935

SUPERSEDES

TO Division directors, section chiefs.

COPY TO Regional directors, project managers.

SUBJECT Uniform map symbols.

1 PURPOSE:

- a This instruction establishes the uniformity of symbols used in connection with the preparation of project developmental maps and plans by all Resettlement divisions. It will facilitate the accurate preparation and interpretation of maps showing topographic, physiographic, cover, structural improvements and other significant features of project areas.

2 GENERAL:

- a Two separate lists of symbols, classified as "Standard" and "General" are included herein. In so far as possible, map symbols previously designated as official by other governmental agencies have been utilized.
- b The list labeled "Standard" is to be used in connection with the preparation of developmental maps. The numbers appearing in the left hand margin of each page of symbols correspond to and appear in the same order as the types of jobs listed in Form RA-LU 23.
- c The symbols in the list labeled "General" will be used in the preparation of cover maps, reports on surveys, and other similar material.

3 USE OF STANDARD SYMBOLS:

- a Those who are responsible for the preparation of developmental maps will exercise care to see not only that the correct symbols are used for indicating specific features, but also that locations thereof are indicated with exactness.

4 USE OF GENERAL SYMBOLS:

- a The general symbols will be used in the preparation of cover maps, survey maps and similar material. These symbols will be placed on the map in



such a manner that they will show the location of the various forest, cut-over and swamp areas, together with other topographical, geographical and physiographical features which will be found within the purchase area.

Signed:

*R. G. Tugwell*  
Administrator





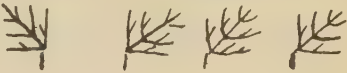

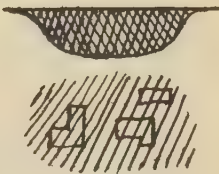




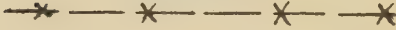




RESETTLEMENT ADMINISTRATION  
MAP SYMBOLS

INDEX

Airplane landing fields	6	Mine - quarry	15
		Mine - shaft	16
Boundaries, marks, monuments	11-12	Mine - tunnel	15
Bridges	2	Monuments	4, 11-12
Buildings	2-3, 14-15	Obliteration	1
Camp ground - public	9	Parks - wayside	9
Camp stoves, fireplaces	4	Pest control	1
Canals	15	Picnic ground - public	9
Cattle guards	4	Poisonous plants	1
Cities	13	Portals	4
Clearing land	1	Power lines	5
Coke ovens	15	Quarrying - limestone	1
Corrals	4	Railroads	16-17
Cribbing	3	Reservation lines	11-12
Dams	3	Roads	17
Dripping vats	4	Roads - park	6
Ditches - open	6	Seats	4
Ditches - open - water supply	16	Seeding	2
Docks, piers, landings	3	Sewage systems	5
Drainage - features	13	Signs, markers, monuments	4
Drainage, flood control, irrigation	6-8	Sodding	2
Erosion control	6	Soil preparation	2
Fences	3-4	Table and bench combinations	5
Flood control	6-8	Telephone lines	5, 17
Fords	4	Towns	13
Forest development	8-9	Trails - pack foot	18
Gas lines	5	Trails - pack horse	18
Guard rails	4	Trails - truck	6
Highway	6	Tunnels	17
Irrigation	6-8	Utilities	17
Land acquisition - progress	20-21	Villages	13
Land classification	18	Walks	9
Land ownership	21	Walls	7
Levees, dykes, jetties	4	Waste disposal	5
Limestone quarrying	1	Water supply system	5
Manholes	5	Wells - oil or gas	15
Markers	4, 11-12	Wells - water	7
Mine - prospect	15	Wild life developments	9-10
		Windmills	7



STANDARD SYMBOLS TO BE USED IN THE PREPARATION OF THE  
PROJECT DEVELOPMENT MAP AND OTHER SIMILAR MATERIALS

Symbol* No.	Subject	Symbol
<u>GENERAL LAND TREATMENT</u>		
108	Clearing Land	
109	Limestone quarrying	
Obliteration:		
112	Borrow Pits and Dumps	
113	Farmsteads	
114	Fences	
115	Poisonous Plants	
116	Roads	
117	Trails	
118	Undesirable Structures	
120	Pest Control-Disease	
121	Pest Control-Insect	
	Pest Control-Mosquitoes	

\* Corresponds to item numbers in Form RA-LU 23



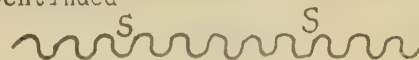
Symbol  
No.

Subject

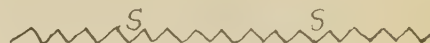
Symbol

GENERAL LAND TREATMENT, Continued

125 Seeding



127 Sodding



128 Soil Preparation



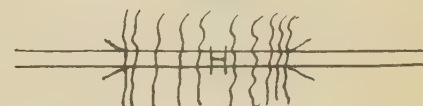
STRUCTURAL IMPROVEMENTS

Bridges:

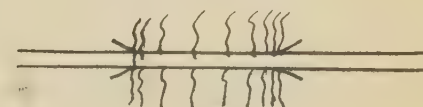
201 Foot (Indicate material)



202 Horse (Indicate material)



203 Vehicular (Indicate material)



Buildings:

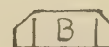
205 Administrative



206 Barns



207 Bathhouses



208 Boathouses



209 Cabins-overnight



210 Combination



211 Contact Stations



212 Dwellings







Symbol No.	Subject	Symbol
---------------	---------	--------

STRUCTURAL IMPROVEMENTS, Continued

213 Garages



214 Latrines and Toilets



215 Lodges



216 Lookout Houses



217 Lookout Towers



218 Museums



219 Recreation



220 Shelters



221 Storage Houses (Equipment-supply)



224 Cribbing; including filling



225 Dams-Diversion (Large river-small stream)



226 Dams-Impounding



227 Docks-piers-landings



Fences:

228 Hedge





Symbol  
No.

Subject

Symbol

STRUCTURAL IMPROVEMENTS, Continued

228 Stone



228 Wire

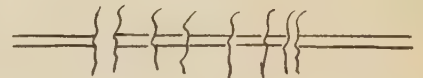


228 Worm

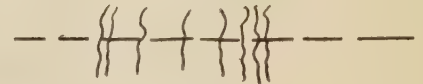


Fords:

230 Road



230 Trail



235 Guard rails



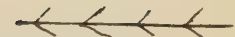
236 Levees--dykes--jetties



231 Camp stoves--fireplaces



232 Cattle Guards



233 Corrals



234 Dipping Vats



Portals



231 Seats



Signs--markers--monuments







Symbol  
No.

Subject

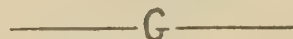
Symbol

STRUCTURAL IMPROVEMENTS, Continued

231 Table and Bench combinations



Gas Lines



Manholes

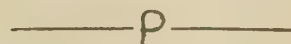


Power Lines:

237 Overhead

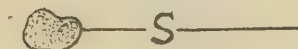


237 Underground

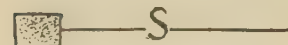


Sewage System:

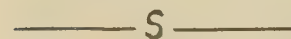
238 Disposal Bed



238 Tank Cesspool

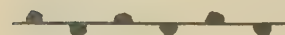


238 Sewer Lines

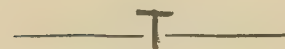


Telephone Lines:

239 Overhead



239 Underground

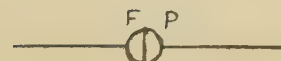


240 Waste disposal



Water Supply System:

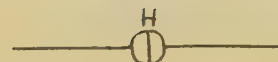
241 Fire plug



241 Fountain--drinking



241 Hydrant





Symbol

No.

Subject

Symbol

STRUCTURAL IMPROVEMENTS, Continued

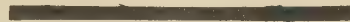
241 Open Ditches

TRANSPORTATION IMPROVEMENTS

301 Airplane landing fields



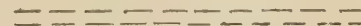
302 Highway



303 Park roads



304 Truck Trails

EROSION CONTROL

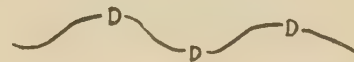
Gully area treatment



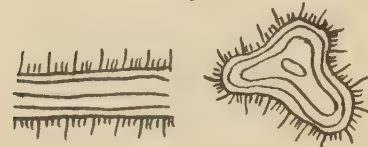
401 Check dams



402 Diversion ditches



403 Stream and lake bank protection



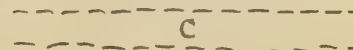
404 Terracing in general

DRAINAGE--FLOOD CONTROL--IRRIGATION

501 Catch basins



502 Clearing and cleaning channels



503 Clearing and cleaning reservoir sites



504 Concrete lining of waterways





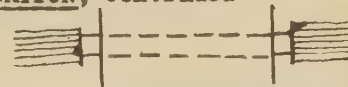
Symbol  
No.

Subject

Symbol

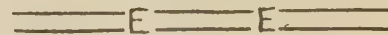
DRAINAGE--FLOOD CONTROL--IRRIGATION, Continued

505 Culverts

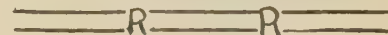


Excavation Canals, Channels--ditches

506 Earth



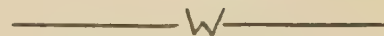
507 Rock



508 Land leveling



509 Pipe lines



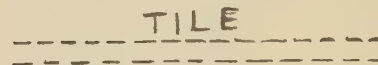
Springs; small reservoirs; waterholes



Storage facilities



Tile lines



Wells incl. pumps, pump houses



Walls--masonry



retaining



stone



Windmills







Symbol

No.

Subject

Symbol

DRAINAGE--FLOOD CONTROL--IRRIGATION, Continued

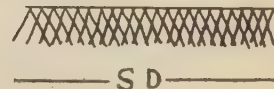
Riprap or paving

510 Rock--concrete



511 Brush or willows

Storm drains

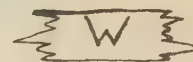


Water control structures (Excl. dams)

512 Concrete or masonry



512 Wooden

FOREST DEVELOPMENT

603 Nurseries in general

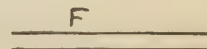


601 Fire Breaks

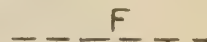


Fire hazard reduction

602 Roadside



602 Trailside



604 Stand Improvement



605 Tree planting and seeding



606 Tree surgery



607 Timber estimating





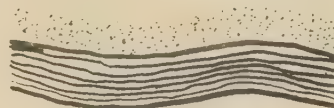
Symbol No.	Subject	Symbol
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FOREST DEVELOPMENT, Continued

608 Timber harvest



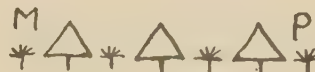
701 Beach Improvements



702 Fine grading--road slopes, etc.



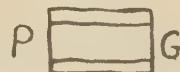
703 Moving and Planting trees and shrubs



704 Parking areas--overlooks

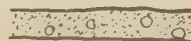


705 Public camp ground development

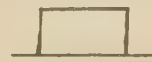


705 Public picnic ground development

706 Walks--concrete--gravel--cinder, etc.



707 Wayside parks

WILD LIFE

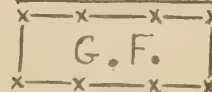
801 Fish rearing ponds--hatcheries



802 Food and cover planting--seeding



803 Game farms



804 Lake and pond development





Symbol

No.

Subject

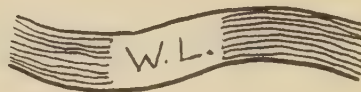
Symbol

WILD LIFE, Continued

Stocking fish



805 Stream development






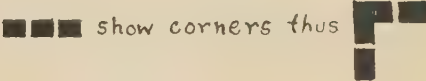




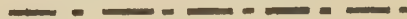












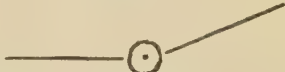
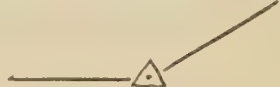



Page 11

GENERAL SYMBOLS TO BE USED IN CONNECTION WITH THE PREPARATION OF COVER MAPS  
AND OTHER SIMILAR MATERIAL

Subject	Symbol
<b>Boundaries-Marks-Monuments:</b>	
(a) National-state-province line	
(b) Purchase unit boundary	
(c) Property line	
(d) County line	
(e) National forest boundary	
(f) Adjacent national forest boundary	
(g) Civil township-district line	
(h) Cemetery, small park, etc.	
(i) Airway light beacons	
(j) Cave	
<b>Reservation lines:</b>	
(a) Indian, military, national park	
(b) Primitive area	
(c) Game or bird refuge	



GENERAL SYMBOLS, Continued

Subject	Symbol
(d) Land grant line	-----
(e) Township section and quarter section lines (either for township lines above)	=====
(f) Township corner recovered	
(g) Section corner recovered	
(h) Boundary monument	
(i) Drainage district	-----DD-----
(j) Permanent bench mark (and elevation)	B.M. x 1024
(k) Supplementary bench mark (and elevation)	x 1024
(l) U. S. mineral or location monument	
(m) Instrument point	
(n) Permanent monument	
(o) Grave	
(p) Observation spot	
(q) Any located station or object (with explanatory note)	



Subject

Symbol

GENERAL SYMBOLS, Continued

## Cities, towns, villages:

(a) Corporate boundary generalized



(b) Capital



(c) County seat



(d) Other towns, villages



## Drainage:

(a) Lake or pond in general



(b) Lake or pond intermittent



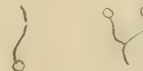
(c) Probable drainage unsurveyed



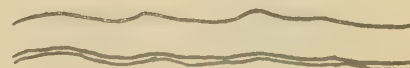
(d) Salt pond



(e) Spring sink



(f) Streams in general



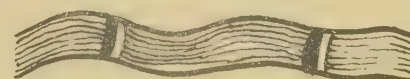
(g) Streams intermittent



(h) River



(i) Falls



(j) Rapids







Subject

Symbol

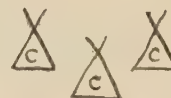
GENERAL SYMBOLS, Continued

## Buildings:

(a) Churches



(b) C. C. C. Camp



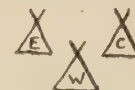
(c) Dwellings occupied



(d) Dwellings abandoned



(e) E. C. W. Camp



(f) Electric power station



(g) Fire station



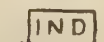
(h) Forest service shelter



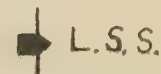
(i) General



(j) Industrial



(k) Life Saving Station



(l) Logging Camp



(m) Radio station



(n) Schoolhouse





Subject	Symbol
<b>GENERAL SYMBOLS, Continued</b>	
(o) Stores-occupied	
(p) Stores-abandoned	
(q) Telephone office	
(r) Telephone station	
(s) Weather station tower	
(t) Windmill	
<b>Canals:</b>	
(a) Canals-general	
(b) Canal-abandoned	
(c) Canal lock (upstream)	
(d) Canal lock (Large Scale)	
(e) Coke ovens	
(f) Mine Tunnels	
(g) Mine-quarry	
(h) Oil or gas wells	
(i) Prospect	



Subject

Symbol

## GENERAL SYMBOLS, Continued

## Canals, Continued

(j) Shaft



(k) Ditches-open-water supply



## Railroads-transportation:

(a) Railroad of any kind



(b) Juxtaposition of railroad



(c) Double track railroad



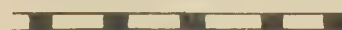
(d) Narrow gauge



(e) Electric



(f) Steam railroad in highway



(g) Electric railroad in highway



(h) Railroad station of any kind



(i) Abandoned railway grade



(j) Railroad crossing-grade



(k) R. R. above



(l) R. R. below







Subject

Symbol

GENERAL SYMBOLS, Continued

## Railroads-transportation, Continued

(m) Tunnels (railroad or road)



## Utilities:

(a) Telephone lines along road



(b) Telephone lines along trail



## Roads:

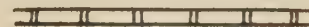
(a) Paved



(b) Surface treated-water bound macadam



(c) ( Gravel  
 ( Sand  
 ( Clay



(d) Earth grade



(e) Drained



(f) Unimproved



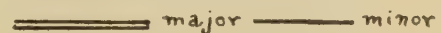
(g) Not passable to motors



(h) Private



(i) On small scale maps as key maps





Subject

Symbol

GENERAL SYMBOLS, Continued

## Trails:

(a) Good pack horse



(b) Poor pack foot



## Land Classification:

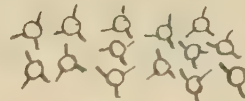
(a) Abandoned fields



(b) Bamboo



(c) Cactus



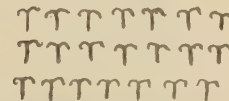
(d) Cleared land



(e) Cotton



(f) Corn



(g) Cultivated fields-in general



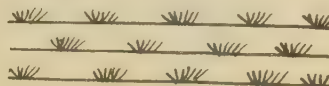
(h) Grassland-in general



(i) Marsh-fresh



(j) Marsh-salt



(k) Orchard





Subject	Symbol
<u>GENERAL SYMBOLS, Continued</u>	
Land Classification, Continued	
(l) Overflowed land	
(m) Palm	
(n) Pasture in general	
(o) Pasture stumped	
(p) Rice	
(q) Rock cliffs-outcrops	
(r) Tall tropical grass	
(s) Tobacco	
(t) Woodland in general	
(u) Woodland impenetrable	
(v) Woods-brush	
(w) Vineyard	
(x) Pine (or narrow leaved trees)	





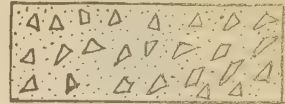
Subject

Symbol

GENERAL SYMBOLS, Continued

## Land Classification, Continued

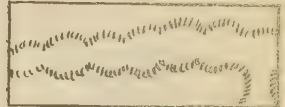
(y) Slide Rock



(z) Sand Dunes



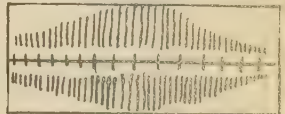
(aa) Ridge



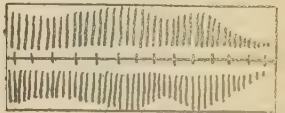
(bb) Bluffs and Cliffs



(cc) R. R. Cut



(dd) R. R. Fill



## Progress of land acquisition:

(a) Offered (Yellow X on White)



(b) Appraised (Two Yellow X's on White)



(c) Optioned (Solid yellow)

(d) Recommended for purchase by Regional Office (RA-LU 5)  
(Yellow with one green X)

(e) Option exercised (Yellow with two green X's)



(f) Acquired (Solid Green)





Subject

Symbol

GENERAL SYMBOLS, Continued

Progress of land acquisition, Continued

(g) Dropped (Red hatch)



## Land Ownership:

(a) Public Domain



(b) Indian Reservation



(c) National Forest



(d) State-owned lands



(e) County-owned lands

(f) Privately-owned lands not to be purchased



EXHIBIT D  
(Sample schedule \*)

Operated units classified according to tenure of operator, type of farm, probable normal gross cash farm income, and principal factors, in order of importance, limiting the capacity of the units to support a farm family, Blue River Project, 1937

Unit Number	Tenure of:		Probable		Factors limiting the capacity of the operated unit to support a farm family 1/		Insufficient land		Inadequate		Lack		Lack of	
	Operator	Type of farm	normal gross	annual cash	None	Size	suitable for	Crops	Grazing	improve-	of	Water	control	of land
	(O-Owner	(C-Cash grain	income from	the farm						ments				
	T-Tenant	R-Ranch												
	P-Part	M-Combina-	(Dollars)											
	Owner)	tion)												
1	T	C	500					1						
2	T	M	400					1	2	2		4		
3	P	R	1,200			1				3				
4	T	R	800						1			3		2
5	O	R	2,000		1									

(\* Classifications under the various headings will be changed to fit the needs of the particular project.)

1/ Factors indicated numerically in order of their importance





EXHIBIT E  
(Sample table \*)

Acreage included in plan and acreage and percentage  
proposed for purchase, by specified items,  
Blue River Project, 1937

Item	Acreage included in plan	Acreage proposed for purchase	Percentage pro- posed for purchase
	<u>Acres</u>	<u>Acres</u>	<u>Percent</u>
Total area	36,000	9,000	25
Present uses			
Crop land	4,000	1,000	25
Grazing or pasture land	31,000	7,500	24
Forest land	1,000	500	50
Projected use:			
Crop land	2,500	200	8
Grazing or pasture land	32,000	7,600	24
Forest land	1,500	1,200	80
Present ownership:			
Public domain	4,100	0	0
Other Federal	1,100	0	0
State	6,300	0	0
County	800	400	50
Private	23,700	8,600	36

(\* The items of information included under ownership, present use of land, and projected use of land, will vary among projects, and on any given project will correspond with the items shown on the present land use, projected land use, and ownership maps)



EXHIBIT F  
(Sample table \*)

Number of operated farms and ranches in area covered  
by plan and number and percentage proposed for purchase  
by type of farm, Blue River Project, 1937

Item	Farms and ranches in area covered by plan	Farms and ranches proposed for purchase	Percentage proposed for purchase
	Number	Number	Number
Total number	118	45	40
Cash grain	60	40	67
Combination	34	4	12
Livestock	24	1	4

(\*The types of farms shown in the table will vary among projects and should correspond with the types appearing in the tabulation of operated units according to tenure of operator, type of farms, etc.)



EXHIBIT G

(For official information and use only)

UNITED STATES DEPARTMENT OF AGRICULTURE  
OFFICE OF THE SECRETARY  
WASHINGTON

September 25, 1937.

MEMORANDUM FOR CHIEFS OF BUREAUS AND OFFICES.

Memorandum No. 733, dated September 1, 1937, brought together in the Bureau of Agricultural Economics the research, planning, service, and administrative functions which relate to the formulation and development of a program of land conservation and land utilization, as that program is defined in section 31 under Title III of the Bankhead-Jones Farm Tenant Act.

Title III directs the Secretary of Agriculture "to develop a program of land conservation and land utilization, including the retirement of lands which are submarginal or not primarily suitable for cultivation, in order thereby to correct maladjustments in land use, and thus assist in controlling soil erosion, \* \* \* protecting the watersheds of navigable streams, and protecting the public lands, health, safety, and welfare."

Because this program will affect significantly many of the major land use programs of the Department, I am setting forth in this memorandum some of the broader policies and procedures which will govern the work.

It seems necessary to emphasize that the primary objective of the land purchase portions of the Title is to correct maladjustments in land use, by the purchase and adaptation to its most beneficial use of submarginal land and land not primarily suitable for cultivation. Congress did not authorize the Department to use the funds (\$50,000,000 authorized over a three-year period) to purchase lands other than those that are submarginal or not primarily suitable for cultivation.

The Department has heretofore had authority to purchase land for specific purposes, including land for experimental, forest, wildlife, and other purposes. But none of these purchase programs was directed specifically toward the retirement of farm land not suitable for cultivation. Funds from various emergency acts were so employed by the F.E.R.A. and subsequently by the Resettlement Administration. But there is some distinction between the program previously handled under such emergency funds and that authorized by Title III. Among other things, the former program was designed to provide considerable relief employment, and development plans were consequently somewhat

more extensive than they will be under the new program. Also, some types of land were purchased under the authority of the emergency grants which cannot be purchased under the Bankhead-Jones Act.

### Major Purpose of This Program

The program of land acquisition and development now authorized will be directed primarily toward changing, by means of public purchase, existing patterns of land occupancy and consequent agricultural use which cause, or are likely to cause, rural poverty, waste of public funds, unduly expensive or inefficient local government, or waste or misuse of the land resources.

The term "retirement" used in the Act clearly implies shifting land which is submarginal in its present use or not primarily adapted to cultivation, to a use for which it is physically and economically better suited. In other words, modification of existing patterns of use and occupancy, which are inimical to the public welfare and to the welfare of the people now occupying the land, is the most important consideration in the selection of land to be purchased under Title III. Naturally, however, land retired from cultivation will be employed for forests, recreational areas, wildlife refuges, controlled range, and other purposes for which it is best suited and which will promote the general welfare.

The changes in land occupancy and use will conform to a plan of land use adjustment for a given area, carefully formulated in cooperation with the appropriate State and local agencies, as discussed below. Land will not be purchased haphazardly here and there. Each purchase project will be selected so as to permit the efficient use and administration of the land purchased, contribute to an improvement in the economy of the entire area, and prevent the waste or misuse of the land.

While the land acquired will generally be land which is employed in agriculture and occupied at the time of purchase, occasionally some intervening or adjoining unoccupied land, or land not then being used for agriculture, may be purchased, to facilitate efficient operation and conservation of the area as a whole. In the Great Plains, for example, considerable areas of land, which are definitely submarginal, are unoccupied and in various stages of abandonment or disuse. Most of these lands are absentee owned. Some of them may be farmed one year by "suitcase farmers" and allowed to lie idle the next. Some of them may be completely abandoned fields or pastures. Frequently, soil drifting from them ruins adjacent occupied lands. Public

acquisition of such lands appears to offer the only means of restoring them to efficient use, and in some instances, of preventing them from being a menace to surrounding lands.

Coordination of Land Acquisition with  
Other Land Utilization Programs

A program of acquisition of submarginal farm land cannot be fully effective in correcting maladjustments in land use unless corollary measures are taken by Federal, State, and local agencies and by farmers themselves to guide land use into desirable channels. Because of financial and other considerations, it obviously will not be feasible for the Federal Government to acquire all of the land in all of the problem areas in order to insure its efficient use and conservation. In such areas, all Federal programs must, of course, function harmoniously and be directed toward common objectives. Further, various measures of conservational control and guidance need to be adopted by State and local governments for the land that remains in private ownership, and coordination of Federal and State programs is essential if the problem of bringing about better land use is to be attacked effectively. The Federal purchase program, if properly integrated with State and local land use measures, can be of great assistance as, for example, in purchasing the lands of "non-conforming users" in zoned areas which are special sore spots in the State due to the scattered pattern of settlement and consequent high cost of local government services.

Accordingly, special consideration will be given to the purchase of submarginal farm lands:

1. Where such purchases, in addition to meeting the requirements of Title III, will also forward other land use programs with which the Department is concerned, such as, for example, the programs for soil conservation, flood control, etc.

2. Where the land use adjustment objectives of the program will be extended to related lands not purchased under the Act, through the application thereto of other Federal, State, or local measures for conservational control, as, for example, in:

- (a) Areas zoned against agricultural settlement
- (b) Areas where soil conservation districts have been organized or have petitioned for organization
- (c) Areas where the State is applying a vigorous policy of retaining tax-delinquent lands in



public hands, with suitable conservation protection

- (d) National or State forest areas
- (e) Areas devoted to National or State wildlife refuges
- (f) National or State parks and recreational areas
- (g) Areas in which Federal, State or cooperative grazing districts have been organized
- (h) Indian reservations

3. Where the unpurchased lands within a proposed project area are of such a physical character that they probably would not be settled in any event, although remaining in private ownership.

#### Administration

The Bureau of Agricultural Economics, in cooperation with the Office of Land Use Coordination, will, in advance of purchase so far as possible, arrange for administration of lands by the appropriate Federal, State or local agency. Assignment of lands to non-Federal agencies will be by lease, license, or cooperative agreement. But the Bureau of Agricultural Economics will not retain even indirect administrative responsibility (custodianship) for lands assigned to other Federal agencies, or to non-Federal agencies when other Federal agencies are in a better position to assume custodianship. In transferring lands to other agencies, the Bureau of Agricultural Economics will require such safeguards regarding the future use of the lands transferred as seem necessary to carry out the purposes of Title III.

#### Development

The land acquired will be developed in order "to adapt it to its most beneficial use." As indicated above, the general use to which the land is to be put and the selection of the agency to administer the land will be determined, so far as practicable, before the land is purchased. Thereafter, the details of the development program and of the administration of the land for its new uses will be decided in consultation with the proposed administrative agency. Development costs must necessarily be held to a minimum. However, there will no doubt be many opportunities to prepare plans for the further development of such lands, these plans to be quickly available in times of depression as a reserve reservoir of unemployment relief projects.

The work of developing the lands will be undertaken by whatever bureau is best situated to handle it as determined by technical location, availability of personnel, equipment, location of field offices, and other considerations. In effecting such developments the employment of those in need within the community will be given consideration. If a Federal or State program of work relief is in operation, cooperation with such program to the extent of useful employment on the lands acquired will be considered. Consideration may also be given to the temporary employment of vendors of land in need of relief. Developments planned and executed, however, must conform to sound principles of land utilization. It may be necessary at times to employ non-relief labor, or combinations of relief and non-relief labor.

#### Assistance to Families Residing on Lands Purchased

Every consideration will be given to assisting families residing on land purchased to find new opportunities elsewhere. Opportunities for permanent work in the area in connection with the new uses of the land will be utilized to the fullest practical extent. The Department will endeavor to put families needing credit or other financial assistance in touch with Federal or State agencies as may have means at their command to render such aid. On these matters as well as on debt adjustment and rehabilitation problems, the Bureau of Agricultural Economics will consult officials of the Farm Security Administration.

It is also important that families vacating submarginal farms in one area do not establish new submarginal farms elsewhere. Field employees, therefore, will endeavor to guide such families so that if they purchase or rent new farms, it will be in super-marginal areas. Field employees will maintain close contact with State agricultural colleges and extension services, county agents, and rural rehabilitation supervisors to see that families facing the problem of relocation may be given the most effective help by all agencies.

Within the limits of the funds available, the Farm Security Administration will provide the necessary debt adjustment, rehabilitation, and related assistance. This will require a definite procedure in cooperation as indicated in this memorandum under the heading "Procedure and Departmental Clearance."

### Federal-State Cooperation

As authorized in Title III, the Department of Agriculture will cooperate with "Federal, State, Territorial, and other public agencies in developing plans for a program of land conservation and land utilization." It is especially important that the Department obtain, in each State, the highest possible degree of participation and consultation by specialists who work with the Department on related land-use programs. In this, the Department will look primarily to the State Agricultural Colleges and Experiment Stations.

A number of things that need to be done to make this land program effective can be done only by the State governments. The Federal Government is without constitutional power to achieve some of the land-use adjustments which are imperative. Thus, we must look to the State legislatures, rather than to Congress, for the adoption of rural zoning laws, soil conservation district laws, adjustments in taxation on farm real estate, modification in tax-delinquency laws, laws governing the organization of grazing associations, and laws regulating the reciprocal rights and obligations of farm landlord and farm tenant - to mention only a few outstanding instances. In many cases it will be necessary, also, to secure the cooperation of the counties or other local units of government to supplement the State statutes, as in the adoption of county rural zoning ordinances under State enabling legislation.

### Procedure and Departmental Clearance

In Memorandum No. 733, I pointed out that many of the bureaus and agencies of the Department are directly interested in a program of land utilization, including the retirement of submarginal lands. That memorandum therefore said:

"In order to assure the formulation and administration of that program with adequate consideration of the relationship of that program to the functions of all agencies in the Department, the Chief of the Bureau of Agricultural Economics will advise and consult with the Coordinator of Land Use Planning in the administration of the activities covered by this memorandum. Lands proposed for acquisition under this program shall be cleared with the Coordinator, before acquisition is undertaken, under such procedure as may be established by the Coordinator and the Chief of the Bureau of Agricultural

Economics. The heads of all agencies of the Department who may wish to recommend action under this program in connection with the work of their agencies shall submit their proposals to the Coordinator, who shall endeavor, in cooperation with the Chief of the Bureau of Agricultural Economics, to give effect to such proposals, insofar as such action may be desirable."

The Chief of the Bureau of Agricultural Economics and the Coordinator of Land Use Planning have developed tentative procedures for the departmental clearance indicated above. All bureaus which wish to submit suggestions should do so in the light of the policies established by this memorandum. This will save time and avoid confusion. Though most lands will be selected for purchase directly in connection with the planning of a land utilization program as authorized in Title III, at the same time this in no way excludes from consideration lands which it appears should be purchased in furthering erosion-control, rehabilitation, wildlife, flood control, and other programs, provided they also conform to the policies established here. For example, a land-use program in the Southern Great Plains may require the purchase of considerable land; this should harmonize with the Department's coordinated program for the area, and the lands purchased may help meet the needs of the Bureau of Biological Survey.

The Office of Land Use Coordination, responsible for the clearance of land purchases regardless of the program involved, will consider bureau proposals under Title III and will consult with the Chief of the Bureau of Agricultural Economics on such suggestions. The Coordinating Office, through the Liaison Board, and in other ways, will obtain departmental consideration of all proposals and projects, especially of those that affect the work of other bureaus. In clearing proposed projects it will consider, with the interested bureaus, among other things the following: (1) The physical and economic problems involved and the effect of specific purchases and developments on the general land-use pattern of the area; (2) the relationship of the purchase project to other land-use programs in the area; (3) the human problem involved and the degree of assistance that might be given the people whose land is purchased; (4) the agency which should develop the land; (5) the agency which should administer the land.

Coordination in Washington of the various Federal agencies maintaining their headquarters here must be supplemented by coordination of the operations of the various field offices. The field staff of the Bureau of Agricultural Economics will, therefore, take the initiative in securing the cooperation of the respective field

staffs of the Soil Conservation Service, the Farm Security Administration, the Farm Credit Administration, and the other Federal, State and local agencies concerned whenever such cooperation is desirable as outlined in this memorandum.

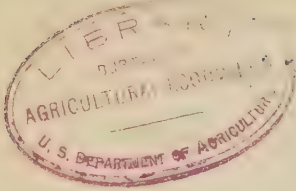
This effort to dovetail the land utilization and purchase program with other land-use efforts is naturally in the experimental stage. The policies established now are necessarily general, rather than specific, and suggestions for changes or refinement will be welcome.

Sincerely yours,

(Signed) H. A. Wallace

Secretary.





UNITED STATES DEPARTMENT OF AGRICULTURE  
BUREAU OF AGRICULTURAL ECONOMICS  
DIVISION OF PROJECT ORGANIZATION

EC-793  
MAY 17 1938

"DIRECTIONS FOR THE PURCHASE OF INDIVIDUAL TRACTS"

1 Purpose

- a The purpose of this Supplement is to emphasize the importance of including in land acquisition plans the "Directions for the purchase of individual tracts" referred to in paragraphs 7bIIID(4) and 8dIE of LU-PO 1 and to explain more fully just what is needed in this respect, particularly insofar as such "directions" apply to reservations and exceptions of mineral rights.
- b This instruction was issued informally as a letter to all regional directors under date of April 21, 1938, in order to expedite the preparation and submission of the required information. This Supplement merely formalizes the instructions contained in that letter.

2 Outline of the Information Required

- a For those projects on which reservations and exceptions in respect to mineral rights (including gas, oil, and coal) are involved, it is required that there be included in all land acquisition plans to be submitted in the future for such projects, and that there be supplied at an early date as a supplement to any land acquisition plans already submitted for such projects, a complete and detailed statement showing:
  - I The minerals known to be found in the project area,
  - II The extent to which each mineral has been exploited in the past,
  - III The probability which exists of the exploitation of each mineral in the future,
  - IV The extent to which reservations of mineral rights by vendors is anticipated,
  - V The extent, insofar as it can be determined without much additional investigation, of outstanding interests in third parties,
  - VI The procedure, in detail, that it is proposed to follow, in light of the general policies stated in paragraphs 12fI and 12gII of LU-PO 1 and in paragraph 2jI of LU-PO 1 (Supplement 1), with respect both to reservations (interests

2 a

VI retained by the vendor) and to exceptions (interests outstanding in third parties). This procedure should indicate, in relation to

A Reservations (interests retained by the vendor):

- (1) The type of subsurface reservation or reservations that will be permitted,
- (2) That such reservations clearly will not affect adversely the Government's program (a mere statement to this effect will not suffice, but an explanation must be given as to why there will be no adverse effect),
- (3) The limit in the appraised value per acre of minerals, below or at which the right to the minerals will be acquired and above which a reservation will be granted,
- (4) Whether the copy of the schedule of deductions for subsurface rights which have no known market value, referred to in paragraph 5dVI of LU-LA 3, has been submitted to the Division of Land Acquisition in Washington as required by the provisions of that paragraph. If not, and such a schedule is to be submitted later, this fact will be stated.

B Exceptions (interests outstanding in third parties):

- (1) As explicitly as possible, the conditions under which exceptions will not be purchased, stating the cost per acre of acquiring such exceptions, which cost, when estimated or determined by the option negotiator, will be the determining factor as to whether such exceptions are to be purchased or left outstanding.
- (2) That such exceptions as would not be purchased, in view of the limitations to be specified under the immediately preceding item, will not affect adversely the Government's program (this statement must explain why there will be no adverse effect).

VII Whether, in respect to coterminous projects, the procedure outlined in compliance with paragraphs 2aI to VI, inclusive, is the same as was laid down under the former program. If not, the features in which it differs will be clearly stated.

- b While the detail required by paragraph 2a, in respect to minerals, may be more than would be pertinent in respect to certain other reservations and exceptions, it will be essential that these "Directions for the purchase of individual tracts" be sufficiently explicit in all cases to enable the Washington offices of both the Division of Project Organization and the Division of Land Acquisition to know the procedure proposed for each project.



3 Submission of Extra Copy of "Directions"

Though a copy of the land acquisition plan is available in the files of the Division of Project Organization for reference use by the Division of Land Acquisition, the latter Division is not supplied with a copy of the plan for permanent use. Consequently, it is required that a third copy of these "Directions for the purchase of individual tracts" be submitted to the head of the Division of Project Organization for transmittal to the Division of Land Acquisition. This applies both to any supplements submitted in accordance with the provisions of this Instruction and to the portion concerned of any land acquisition plans submitted in the future.

Signed:

A handwritten signature in cursive script, reading "Edw. G. Grest". The signature is written in dark ink and is positioned above the typed name and title.

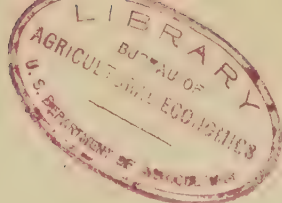
Edw. G. Grest, Acting in Charge,  
Division of Project Organization.

1. The first part of the document discusses the importance of maintaining accurate records of all transactions. It emphasizes that proper record-keeping is essential for the transparency and accountability of the organization. This section also outlines the various methods used to collect and analyze data, ensuring that the information is reliable and up-to-date.

2. The second part of the document focuses on the implementation of the proposed changes. It details the steps involved in the rollout process, from initial planning to final execution. This section also addresses potential challenges and provides strategies to overcome them, ensuring a smooth transition to the new system.

3. The third part of the document discusses the ongoing monitoring and evaluation of the project. It highlights the importance of regular communication and feedback from all stakeholders involved. This section also outlines the metrics used to measure the success of the project and the steps taken to address any issues that arise.

4. The final part of the document provides a summary of the key findings and conclusions. It reiterates the importance of the project and the commitment to achieving the desired outcomes. This section also includes a list of recommendations for future work and a timeline for the next steps.



LU-PO 1 (Supplement 4)  
May 10, 1938

RECEIVED  
MAY 24 1938

UNITED STATES DEPARTMENT OF AGRICULTURE  
BUREAU OF AGRICULTURAL ECONOMICS  
DIVISION OF PROJECT ORGANIZATION

EMERGENCY EMPLOYMENT OF REGIONAL AND PROJECT PERSONNEL  
IN PROJECT ORGANIZATION WORK

1 PURPOSE:

- a The purpose of this Supplement is to outline and qualify the conditions under which emergency regional and project personnel may be employed for a period of 60 days on travel "Letter of Authorization".
- b The instructions contained herein supplement those contained in paragraphs 3 and 5 of LU-PO 1.

2 AUTHORITY TO EFFECT EMERGENCY EMPLOYMENT:

- a Regional directors are authorized to effect emergency employment of regional and project personnel for a period of 60 days on travel "Letter of Authorization" according to instructions contained in LU-BA 1, "Personnel Procedure", LU-BA 1 - Supplement 4, and LU-BA 5, "Travel Procedure", subject to the qualifications stated in the succeeding paragraph (2b).
- b As a result of recent discussions with Messrs. F. J. Hughes, Business Manager, and H. H. Hart, the instructions mentioned in the preceding paragraph are qualified as follows:
  - I Competent persons may be employed on "Letter of Authorization" for 60 days for positions already set forth on the project and regional planning work statements and corresponding organization charts.
  - II More than one person may be employed for a given position and job description where additional persons are needed over and above the number shown on the existing work statement and organization chart, provided that a proper proportion be maintained between the professional, clerical and stenographic groups.

As an illustration, an existing work statement and organization chart might call for two junior agricultural economists, one clerk, and two stenographers. It is satisfactory to employ three more junior agricultural economists (a total of 5) provided another clerk and one or two more stenographers are employed. To employ a total of five junior agricultural economists without proportional clerical or stenographic help would not be advisable.

When it is in the best interests of the Government to make an exception to this general policy, authority to do so will be obtained

- 2 b II from the head of the Division of Project Organization. A request for such authority will be accompanied by adequate justification.
- III Employees on "Letter of Authorization" for over ten days should be secured from the list of eligibles supplied to regional directors by Mr. H. H. Hart, in accordance with previous instructions. The head of the Division of Project Organization will be advised if any additional nominations are needed and either they will be provided promptly, or authority will be given to employ any available qualified persons for certain positions at specified headquarters.
- IV When it is necessary to issue a travel "Letter of Authorization" or when one already issued must be increased to authorize funds immediately for emergency LA employment, a request will be submitted to the head of the Division of Project Organization for the amount required to permit the letter of authorization to be approved and issued in advance.
- V The head of the Division of Project Organization will be advised at the close of the 15th and last day of each month of the names of the persons employed on "Letter of Authorization", the positions and salaries involved, the work unit on which employed (if a project employee), and the proposed period of employment for each individual.
- VI To summarize, in order to meet an urgent field personnel shortage, this Division has been given certain leeway, as indicated above, to increase the number of persons in a given job classification, and to secure emergency personnel on LA employment.

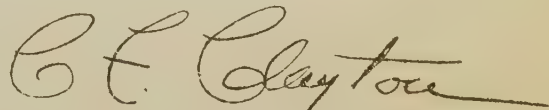
Signed:



Edw. G. Grest, Acting in Charge,  
Division of Project Organization.

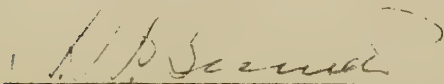


- C Lands which otherwise qualify for purchase, not forming a part of the operating unit of a given operator may be acquired for lease to that operator provided that the acquisition and lease of such lands will not be at the expense of some other operating unit not to be acquired and that crop land so acquired must be retired from cultivation.
- V All permanent structural improvements placed on land so acquired must be at the expense of the Federal Government. Operators may construct temporary improvements provided written permission for the construction of such improvements has been obtained from a duly authorized official of the Soil Conservation Service.
- VI Lands acquired will be made available to an individual operator on the basis of a lease. The period of this lease will not exceed ten (10) years, but may be less, depending upon the circumstances of the individual case. Each lease shall incorporate a stipulation to provide that the use of the Federally-owned lands under the lease is contingent upon the carrying out of an approved program of rehabilitation and conservation applicable not only to the Federal lands but to all lands forming a part of the operating unit of the lessee. The lease will provide that normal repairs and maintenance of structures and improvements on Federally-owned lands, covering ordinary wear and tear, shall be by and at the expense of the user. Ordinarily, the lease will be made subject to termination by the Government in the event of the failure of the lessee to carry out the program stipulated in the lease or in the event the Government determines that the lease is no longer in the public interest in the carrying out of the general program of rehabilitation and conservation contemplated by the lease. In either of these events, the lease can be terminated by the Government, or, in any event, by the lessee, by giving six (6) months written notice of termination; provided, however, that the lease shall not terminate during a grazing or cropping season. A form of lease, approved by the Solicitor, will be prepared and issued for the purpose of effecting the lease of lands so acquired.



C. F. Clayton, In Charge,  
Division of Project Organization,  
Land Utilization.

Approved, April 7, 1939.

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Chief.





II In an area so designated

A Land which otherwise qualifies for purchase may be acquired from an operator-vendor for his subsequent use as a part of his individual operating unit, provided

- (1) That the land acquired is now being cropped and is unsuitable for crop use, or has formerly been cropped and is potentially subject to conversion to crop use and
- (2) That the land acquired is to be converted from present or potential crop use to grazing or such other types of use, not involving the production of cultivated crops, as will best promote the rehabilitation and conservation of the soil and the stabilization of the agriculture of the individual operating unit and of the area of which it is a part (The conversion of land from cultivated crops to less intensive types of use need not preclude, however, the temporary use of the land for the production of erosion-control and soil-restoration crops properly adapted to the rehabilitation of the land) and
- (3) That the land so acquired from an operator-vendor for subsequent use as a part of his individual operating unit must be in such poor physical condition as to make it impracticable for the operator-vendor to carry out the measures necessary for the restoration of the land, thus necessitating Federal acquisition as a part of a general protection and restoration program beneficial not only to the individual operator but also to adjacent lands within the area.

Grazing or forest lands (that is, lands not previously cropped and not being cropped, which are now held or used for grazing or timber production) are not to be acquired from an operator-vendor for his exclusive use as a part of his individual operating unit.

B Depleted range or crop lands, which otherwise qualify for purchase, forming a part of an operating unit but not owned by the operator, may be acquired with a view to their lease to the operator involved, provided the lands are so depleted as to require Federal ownership for their rehabilitation and control and subject also to the requirement that depleted crop lands so acquired are to be restored for production of non-cultivated crops.



UNITED STATES DEPARTMENT OF AGRICULTURE  
SOIL CONSERVATION SERVICE  
LAND UTILIZATION

## DIVISION OF PROJECT ORGANIZATION

## SUPPLEMENT TO THE INSTRUCTION FOR PLANNING FOR LAND ACQUISITION

MAY 18 1939

1 PURPOSE:

- a The purpose of this supplement is to modify the instructions contained in LU-PO 1 (Revision 1) relating to the criteria governing the selection of tracts for purchase insofar as such criteria exclude the purchase of tracts for the exclusive use of individual operators. (See section 2 d XI B, page 9, LU-PO 1 (Revision 1))

2 GENERAL POLICY:

- a It is the general policy of the Soil Conservation Service to acquire lands under Title III of the Bankhead-Jones Farm Tenant Act on a basis which will permit general public use, or the joint use of lands by a group of qualified operators, rather than to acquire lands for the exclusive use of individuals. For example, as a general policy lands should be acquired with a view to their use for the benefit of the general public as recreational areas, game refuges, etc., or their joint utilization by qualified operators for summer or winter range, community pastures, community woodlots, etc.

3 ACQUISITION OF TRACTS FOR THE EXCLUSIVE USE OF INDIVIDUALS:

- a The general policy stated in section 2 above may be modified to permit the purchase of lands which otherwise qualify for acquisition under the Act with a view to the exclusive use of such tract or tracts by an individual operator under a lease subject to the following conditions:
  - I In the case of projects already approved by the Soil Conservation Service and the Secretary, a special justification for the carrying out of a program of this type in a particular area must be prepared. The area in which the program is to take effect must be defined, the situation which justifies a departure from the general policy described, and the approval of the Chief of the Soil Conservation Service or his authorized representative must be obtained, designating the area involved as "INDIVIDUAL LEASE AREA." For projects not yet approved, the justification will be incorporated into the project proposal.



TABULATION OF PERTINENT FACTS ABOUT THE  
TRACTS PROPOSED FOR PURCHASE  
PROJECT LU- -39-21

Prepared \_\_\_\_\_ (Date)

EXHIBIT B

( S A M P L E )

Tract: (According to Name of Owner)												
No. (1)		Present Records		Acreage		Estimated or Appraised Price		Proposed Price		Families: Criteria 2/		Remarks
(1)		(2)		(3)		(4)		(5)		(6)		(7)
(1)		(2)		(3)		(4)		(5)		(6)		(7)
Township 23 N., Range 3 W.												
1	John H. Brown	23	165	52	240	\$520	\$163	\$683A	Forestry	None	1a	Tract to be purchased for stock water dam site.
2	E. T. Soulv. Est.	120	200	--	320	1200	375	1575A	Hay	1-(Tenant)	1c	
3	Mrs. Ella K. Doe	10	25	5	40	220	150	370A	Grazing	1-(Owner)	1b	
4	Roscoe C. Roe	42.6	140	23	205.6	715	212	927E	Grazing	2-(Owner & Tenant)	1c	
5	Henry B. Johnston	--	160	--	160	240	10	250A	Forestry	None	3a & b	
Total:		195.6	690	80	965.6	\$2895	\$910	\$3805	xxxx	4	xxxx	xxxx

1/ "A" indicates appraised price, "E" estimated price.  
2/ See "Criteria to Govern the Selection of Tracts Proposed for Purchase - Project LU- -39-21" transmitted with letter dated 10/1/38.





## EXHIBIT A

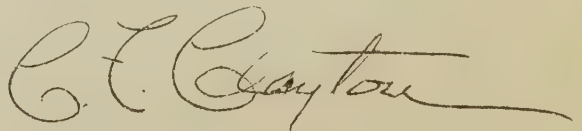
(Sample)

Summary of Lands Within  
Blank County Project (Part I)  
Indicating Total Acreage and Acreage  
and Percentage Proposed for Purchase

Item (1)	Total Acreage Part I (2)	Acreage Proposed For Purchase Part I (3)	Per Cent Column (3) is of Column (2) (4)
Total Area	209,466	82,379	39%
Present Use			
Crop Land	45,671	16,650	36%
Grazing Land	163,795	65,729	40%
Projected Use			
Crop Land	29,022	None	xxx
Grazing Land	180,444	82,379	xxx
Present Ownership			
Public Domain	1,135	None	None
Federal Land Bank	6,188	160	3%
Indian Land	9,952	None	None
State School Land	12,840	None	None
Corporation	4,615	2,238	48%
County	22,114	7,894	36%
Rural Credit	23,069	11,733	51%
Private Non-resident	53,181	41,343	77%
Private Resident	76,372	19,010	25%



- 6 b The same general procedure will be applicable in planning for land acquisition for a segment of the project area as for the project as a whole. When it is desirable to initiate detailed planning in only one or more segments of the project, the maps and accompanying statements or correspondence will be clearly identified with the segment concerned by the identification "Part I", "Part II", etc. The key map will always show the entire project area but if a segment of the area is to be planned in detail prior to such planning for the balance of the area, the key map will show by light-green coloring the segment or segments being initiated first. If any preliminary acquisition map or ownership map submitted to Washington includes more tracts than those constituting the segment concerned, a red line will be drawn correctly around the segment so as to exclude the tracts not involved in the segment.
- c The key map will be submitted only once, namely, with the "Land Acquisition Planning Report" for the first segment. Normally it will be necessary to submit preliminary acquisition and ownership maps for each new segment. However, if the preliminary acquisition and ownership maps submitted for the first segment (Part I) also showed (properly excluded) the second segment (Part II) and no question could arise as to the area covered by the second segment on the map originally submitted, it will be sufficient to refer to this fact in submitting the "Land Acquisition Planning Report" or copies of memoranda clearing tracts for preliminary land acquisition activities including the approval of tracts for purchase. A "Land Acquisition Planning Report" will be submitted for each segment, properly identified, but it will not be necessary to repeat duplicating information - reference to the report in which such information was first given being sufficient.
- d Clearance for the acceptance of options will be given for a segment of a project area in the manner outlined in Paragraph 5 a II. It will be understood that clearance for the acceptance of options in one segment of a project does not automatically constitute such clearance for other segments - it being required that a "Land Acquisition Planning Report" be submitted for any one segment before clearance for the acceptance of options therein will be given.



C. F. Clayton, In Charge,  
Division of Project Organization.

Attachments.



5 c VII as expressed in his "Memorandum for Chiefs of Bureaus and Offices", dated October 6, 1938, every effort should be made to acquaint fully all people in the community in which the project is located with the character and objectives of the program, to obtain their support of the program, and particularly to enlist their cooperation in the planning of it.

VIII The statements required in Paragraphs 5 c IV to 5 c VII, inclusive, will be submitted to the Division Leader, separately from the maps required in Paragraphs 5 c II and 5 c III, in press binders labeled as follows:

Land Acquisition Planning Report

(Official Name of Project)

Part \_\_\_\_\_

Project Symbol \_\_\_\_\_

Prepared \_\_\_\_\_  
(Date)

The regional director's letter of transmittal will indicate the number of options which have been secured at the time the report is submitted and the total acreage and total option price of such options. The regional director will also indicate that he considers sufficient options have been obtained to assure the success of the project. This letter will be countersigned in the lower left-hand corner by an authorized representative of this Division, indicating that he concurs in the regional director's recommendation that approval be given for clearing tracts for the acceptance of options.

## 6 PLANNING FOR LAND ACQUISITION BY SEGMENTS OF THE PROJECT AREA

- a In many instances, it will be desirable, from the standpoint of expediting the project program, to concentrate the planning for land acquisition activities in a certain segment or segments of the project area during the early stages of the project program. Segments selected for this purpose will be capable of treatment as one or more units involving adjustments consistent with the objectives of the project. In the detailed planning of a segment of the project, it is evident that some general planning for the entire area should be done in order that the plans formulated for one or more segments may be coordinated later with the entire project program.



5 c VI Tabulation of pertinent facts about the tracts proposed for purchase

There will be included in the plan as Appendix B a tabulation of pertinent data and information about each tract proposed for purchase in the project area or in that portion of it to be included in the current fiscal program. A sample tabulation is included in this instruction as Exhibit B. This sample tabulation is not intended to be all-inclusive of the information and data which may be pertinent in respect to the tracts on a particular project but rather to be suggestive of what is considered to represent the minimum amount of information that should be shown in the table. In many instances it will be desirable to further classify the acreage of the tracts as to present land use, for instance, crop land in some projects should be broken down in the tabulation to show cultivated crops as distinguished from abandoned crop land, or pasture should often be shown as open pasture and woodland pasture, etc. On some projects or in reference to certain tracts on most projects, it will be desirable to subdivide the estimated or appraised value of improvements, for example, on some grazing projects it may be pertinent to show the value of buildings separately from water improvements. It will be noted that the township and range is indicated in the sample tabulation. In unsectionalized areas the block reference number mentioned in Paragraph 5 c III D will be used in the tabulation in the same manner.

VII Local participation and support

This statement will outline the extent to which public agencies, individuals, or groups in the vicinity of the project (including state or county agencies and officials) have participated in the planning of the project and the character of such participation. It will also indicate the attitude, either favorable or otherwise, of agencies, individuals or groups of individuals toward the project, including a detailed discussion of any movements which may be under way to curb activities on all or parts of the project, with particular reference to the attitude toward the project of vendors, farmers who are to remain in the area and whose land is not to be purchased, and local groups directly affected by the purchase program, as for instance, families living in a bonded school or road district. Reference will be made to any documents on file which support the statements made in this respect.

In keeping with the Secretary's statements of policy in reference to the importance of local participation in the planning and administration of programs of an agricultural character,





- 5 c III L Two copies of the ownership map will be transmitted to the Washington office of this Division in a roll, not folded. One of these copies will be transmitted to the Division of Land Acquisition as soon as the "Land Acquisition Planning Report" has been submitted to the Division Leader and clearance has been given for the acceptance of options. (See Paragraph 5 a II.)

#### IV Character and extent of the planning work

This statement will be brief but will indicate the various kinds and extent of surveys or other studies made of the project area in planning the proposed pattern of purchase, the manner in which the surveys were conducted, the reliability of the information and various data collected, and the methods used in analyzing such information and data and in developing the pattern of purchase.

#### V The proposed pattern of purchase

- A This statement will descriptively supplement the ownership map in presenting a clear picture of the proposed pattern of purchase in its relationship to the general program of the project as outlined in the Secretary's memorandum approving the project, correlating the pattern of purchase with any means other than purchase which it is proposed to use in accomplishing the desirable adjustments in land use. There will be included as Appendix A a summary of the present and projected land uses and of the present ownership within the project area, indicating the acreage of public domain lands and of lands owned by the state, the county, quasi-public agencies, private corporations and private individuals, subdivided to show the acreage and percentage of each that is proposed for purchase. (See Exhibit A.)
- B If attempts have failed to secure satisfactory cooperation from the state or county in bringing under organized control, by means other than purchase, lands in the project area that are owned by the state or county and if it is considered essential to the success of the project that such control be secured over these lands, there will be included a statement, (1) describing the steps which have been taken to secure the cooperation of the state or county officials through means other than purchase, (2) stating the reasons for failure to secure the desired cooperation, and (3) justifying the purchase of the lands concerned by showing precisely how failure to acquire them will jeopardize the program.



- 5 c III E All public roads and highways will be accurately located and identified as to control and type, as follows: U. S. Highway No. 4 (paved); State Highway No. 12 (gravel); County Road No. 17 (dirt). Where public roads and highways intersect project boundaries, the distance to the nearest town or community center will be indicated, as follows: "To Middlebury, Mississippi, 6 miles."
- F All schools, churches, cemeteries and other public or semi-public improvements will be indicated. The boundaries and approximate acreage of all school lots, church lots and cemeteries will be shown.
- G All lakes, rivers, streams, bridges, dams, etc., will be accurately located.
- H All private rights-of-way; railroad rights-of-way; power lines; telephone and telegraph lines; gas, oil and water pipe lines, etc., will be accurately located, in order that it may be determined which individual tracts are affected.
- I All important and well known landmarks, such as natural bridges, pivot rocks, battle grounds, historical monuments, and other points of recognized interest or scenic value will be accurately located.
- J Any other physical features which may affect the project program or the value or importance of particular tracts will be inserted on the ownership map.
- K Those tracts on which clearance has been given for the gathering of tract ownership data and appraising will be indicated on the ownership map by yellow 45-degree diagonal lines drawn from the southwest to the northeast (assuming north is at the top of the map), tracts cleared for optioning will be shown by yellow 45-degree diagonal lines drawn from the northwest to the southeast, and tracts already optioned will be shown in solid yellow. Any ownership map submitted for a project subsequent to clearance for the acceptance of options (see Paragraphs 5 a II and 5 b) will indicate those tracts on which options have been accepted by a green cross, drawn over the solid yellow, one line of which will extend from the northwest to the southeast and the other from the southwest to the northeast, and those tracts, purchase of which has been consummated, will be shown in solid green.

UNITED STATES DEPARTMENT OF AGRICULTURE  
SOIL CONSERVATION SERVICE  
LAND UTILIZATION

## DIVISION OF PROJECT ORGANIZATION

## PLANNING FOR LAND ACQUISITION

MAR 8 1939

1 PURPOSE

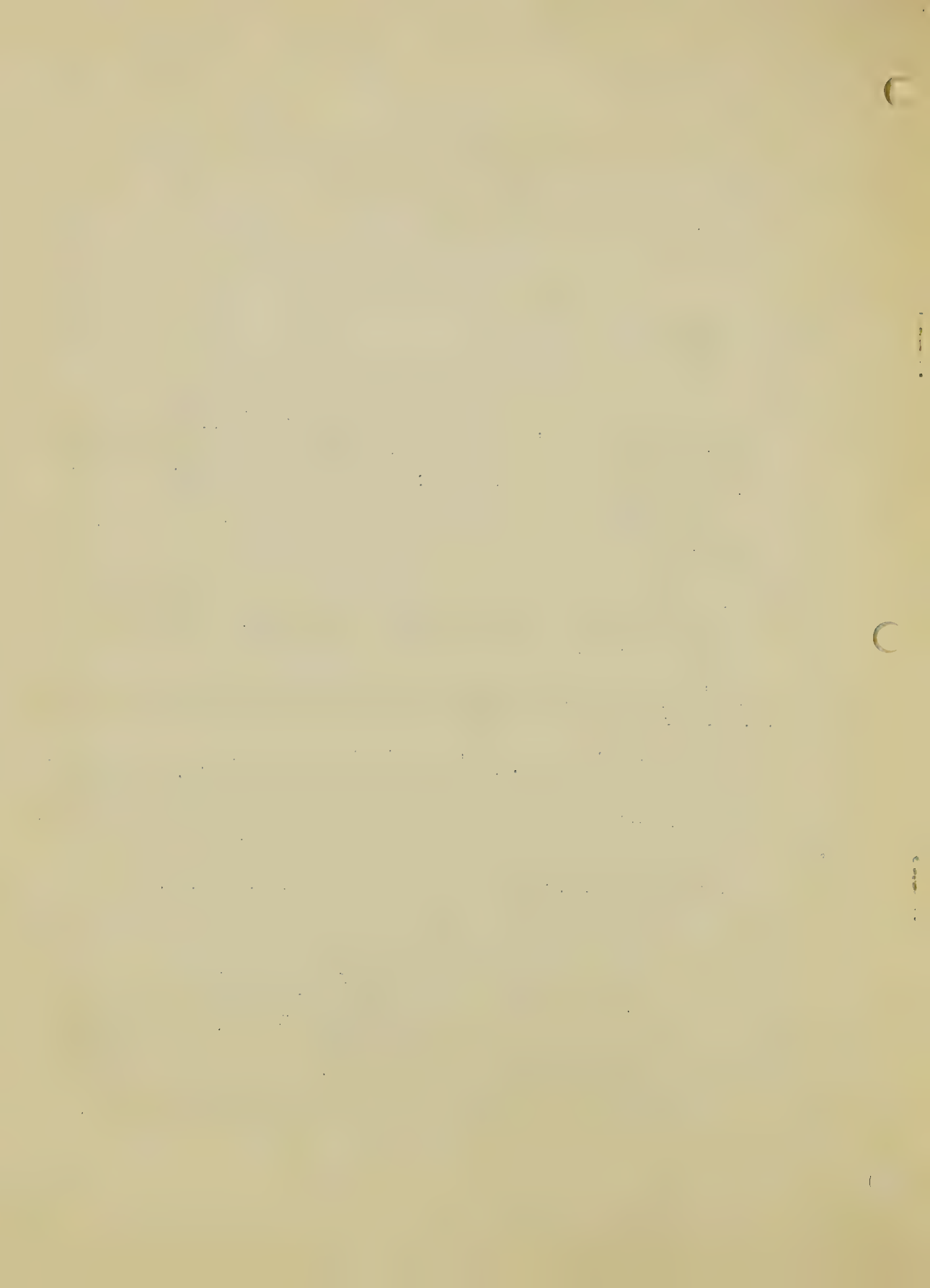
- a This instruction is issued to serve as a guide in planning for land acquisition under Title III of the Bankhead-Jones Farm Tenant Act and to outline the procedure which will be followed in clearing tracts for purchase to the Division of Land Acquisition.
- b Instruction LU-PO-1 and all supplements thereto are completely superseded by this revision.
- c This instruction covers only one phase of project planning, namely, land acquisition. Instructions for the planning of land development, management and administration, and institutional adjustments will be issued separately.

2 CRITERIA TO GOVERN THE PLANNING OF LAND ACQUISITION AND THE SELECTION OF LANDS FOR PURCHASE

Land acquisition will be planned to conform to the provisions of the Bankhead-Jones Farm Tenant Act, departmental policies, the memorandum signed by the Secretary approving a project, and other general criteria indicated below. The procedures for planning in accordance with those criteria are specified in Sections 3, 4, 5 and 6.

a Conformity to Provisions of the Bankhead-Jones Farm Tenant Act

- I The Bankhead-Jones Farm Tenant Act authorizes and directs the Secretary of Agriculture "to develop a program of land conservation and land utilization, including the retirement of lands which are submarginal or not primarily suitable for cultivation, in order thereby to correct maladjustments in land use, and thus assist in controlling soil erosion, reforestation, preserving natural resources, mitigating floods, preventing impairment of dams and reservoirs, conserving surface and sub-surface moisture, protecting the watersheds of navigable streams, and protecting the public lands, health, safety, and welfare."



2 a II Among the powers of the Secretary under the program is that of acquiring "by purchase, gift, or device, or by transfer from any agency of the United States, or from any State, Territory, or political subdivision, submarginal land and land not primarily suitable for cultivation, and interests in and options on such land. Such property may be acquired subject to any reservations, outstanding estates, interests, easements, or other encumbrances which the Secretary determines will not interfere with the utilization of such property for the purposes of this title."

III Conformity to the provisions of the Act requires that purchases be limited to (1) submarginal land to be retired or to (2) lands not primarily suitable for cultivation. The purpose in acquiring land is to correct maladjustments in land use. The term "retirement of submarginal land" implies shifting land from its present use to a use for which it is physically and economically better suited.

IV It is recognized, however, that in connection with the purchase of "lands which are submarginal or not primarily suitable for cultivation", some tracts, primarily of this character, may be acquired, although they embrace small areas of land well adapted to cropping use. Moreover, it will occasionally be necessary to purchase a small number of "key" tracts which, when considered individually and without reference to the other land in the locality, may not appear to be submarginal or unsuitable for cultivation, but which are in fact an integral part of a larger area that is clearly submarginal or not primarily suitable for cultivation and which must be purchased in connection with the acquisition, development, use, management and administration of this larger area.

The purchase of such key tracts must be kept to a minimum and approval of a tract for purchase which qualifies only as a key tract will be supported by a written statement which fully justifies the purchase of the tract.  
(See also Paragraph 2 d XII.)

#### b Conformity to Departmental Policies

##### I Statement of departmental policies

The following excerpts from the Secretary's Memorandum for Chiefs of Bureaus and Offices, dated September 25, 1937, are particularly pertinent in connection with the criteria for the selection of tracts. (Copies of the Secretary's memorandum just mentioned have been distributed and all field employees should now be familiar with it. However, if additional copies are desired they will be furnished upon request.)



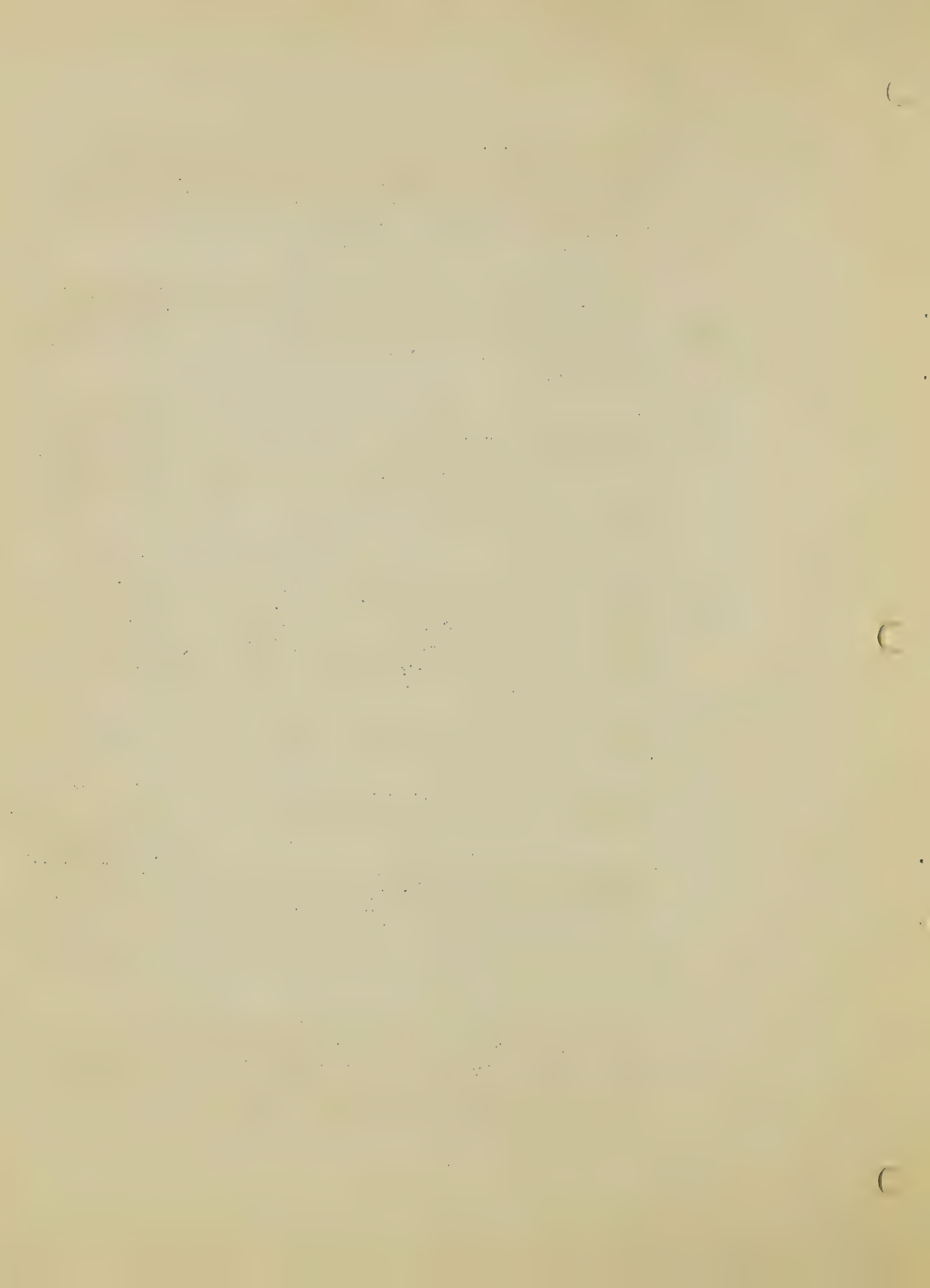


- 2 b I A "The program . . . will be directed primarily toward changing, by means of public purchase, existing patterns of land occupancy and consequent agricultural use which cause, or are likely to cause, rural poverty, waste of public funds, unduly expensive or inefficient local government, or waste or misuse of the land resources."
- "Modification of existing patterns of use and occupancy, which are inimical to the public welfare and to the welfare of the people now occupying the land, is the most important consideration in the selection of land to be purchased under Title III."
- B "While the land acquired will generally be land which is employed in agriculture and occupied at the time of purchase, occasionally some intervening or adjacent unoccupied land, or land not then being used for agriculture, may be purchased, to facilitate efficient operation and conservation of the area as a whole."
- C "The changes in land occupancy and use will conform to a plan of land use adjustment for a given area . . . Land will not be purchased haphazardly . . . Each purchase project will be selected so as to permit the efficient use and administration of the land purchased, contribute to an improvement in the economy of the entire area, and prevent the waste or misuse of the land."

II General application of Secretary's statement to selection of project areas and of lands to be acquired

It follows from the Secretary's statement of policies from which Paragraphs A, B, and C immediately above are quoted that:

- A Lands selected for purchase should, as a rule, be employed in agriculture and occupied at the time of purchase. The purchase of intervening or adjoining tracts, not falling within these categories, must be held to a minimum and it must be shown that the purchase of such tracts will definitely facilitate the efficient operation and conservation of the area as a whole.
- B Lands are not to be acquired simply because they are "submarginal" for agricultural use or "not primarily suitable for cultivation." For example, forest, cut-over, swamp, and other lands of a similar type are generally not within the scope of the purchase program.



- 2 b II C Lands selected for purchase must be within the boundaries of an approved project and it must be definitely shown that the purchase of these lands will "contribute to an improvement in the economy of the entire area, and prevent the waste or misuse of the land."

c Memorandum Signed by the Secretary Approving a Project

- I The memorandum signed by the Secretary, approving a project, will officially define the authorized objectives, scope, and types of adjustment of the project involved. Project proposals are to be regarded merely as a basis for an administrative determination that the proposed project conforms in general to the legal requirements of the controlling legislation and to the administrative policies established thereunder. Statements made or actions proposed in the project proposal at variance with the memorandum approved by the Secretary are not to be regarded as approved. It is of paramount importance that regional and project officials conform strictly to the Secretary's memorandum in carrying out the work undertaken on the project approved.
- II Copies of the Secretary's memorandum approving a project will be forwarded to the regional and project offices immediately following such approval. If a project manager has not been appointed an extra copy of the memorandum will be sent to the regional director who will be responsible for transmitting it to the project manager as soon as he is appointed.

d General Criteria

- I Purchase of land now in public ownership

It will be the general policy not to purchase county-owned land or other land already in public ownership. Consideration will be given to the purchase of such lands only when it appears absolutely necessary in order to carry out a practical program for the project.

- II Acquisition of land by condemnation

It will be the general policy not to acquire land through the exercise of the right of eminent domain except where such a procedure may appear desirable to clear title to lands already under accepted option. Consideration will be given to the acquisition of land from owners who are unwilling to sell only in those cases where the tracts are of exceptional importance to the project.



2 d III Effecting adjustments in land use by means other than land purchase

The acquisition of land will be considered only as an instrument implementing the effecting of proper adjustments in land use and control. Every method of effecting adjustments within a reasonable time by means other than land purchase will be explored and utilized wherever practicable. In planning for land acquisition full consideration will be given to the possibility of using other means of control to effect the desired adjustments in land use, thereby keeping the expenditures for land to a minimum.

IV Purchase of land subject to exceptions (interests outstanding in third parties)

As a general policy the Government should seek to obtain fee simple title to all lands acquired. The acquisition of interests outstanding in third parties may, however, frequently involve expenditures of time or money which are unwarranted in view of the nature of the interests involved. Such interests will be acquired in all cases where the time or cost involved is nominal. In those cases where the cost or time involved appears to be excessive and the nature of the outstanding interests is clearly such as not to affect adversely the Government's program, the land may be acquired subject to such outstanding interests. A deduction, representing the actual value plus potential damages for exercise of rights, will be made for all subsurface exceptions. In cases where the subsurface exceptions are considered of no value at present, a deduction will be made for potential damages for the exercise of such rights. (See instructions issued by the Division of Land Acquisition.)

V Purchase of land subject to reservations

A Life leases

Life leases will be granted only when (1) the program of adjustment requires that the tract be acquired (rather than remain in private ownership) even though subject to a life lease, (2) the removal of the occupant (or occupants) is impracticable or contrary to the public interest, (3) the continued occupancy of the tract will not create or perpetuate a relief problem which the Federal Government is morally or in fact obligated to handle, and (4) the continued occupancy of the tract will not interfere with the future use and administration of the project. No family will be granted a life lease in which either spouse is less than 60 years of age. A life lease will cover not more than 15 acres.





## 2 d V B Reservation of subsurface rights

It will be the general policy to acquire land without reservation of subsurface rights in all instances where the minerals have no recognized market value. In cases where the vendors insist on reserving the rights to oil, gas, or other minerals, a deduction will be made from the appraised value of the tract as provided in instructions issued by the Division of Land Acquisition. Subsurface rights with a value appreciably in excess of \$1 per acre will not be acquired generally unless failure to acquire such rights will prevent realization of the general objectives of the project. Ordinarily subsurface right reservations will be granted for a period not to exceed 25 years, although reservations up to 50 years may be granted when it can be shown that circumstances justify such procedure. Reservations of subsurface rights in perpetuity will be granted only in exceptional instances. (See especially Paragraph 2a II.)

## C Reservation of timber

As a general policy, timber will be acquired with the land unless it is mature, has a large total value per acre, and arrangements can be made for harvesting the crop within one year from the date purchase of the land is consummated, in conformity with standard forestry practices without seriously interfering with the objectives of the project.

## D Reservation of improvements

It will be the general policy to permit the reservation of improvements by the vendor provided such improvements are to be removed within a specified time and are not needed in connection with the development of the project. Exceptions to this general policy will be those instances in which the improvements, if reserved, would be subject to use in a manner detrimental to the general land conservation and land utilization program. The value of improvements which are reserved will be determined in accordance with instructions issued by the Division of Land Acquisition.

## E Reservation of right to occupy and crop

See policy and procedure set forth in Instruction LU-PO 6.



## 2 d VI Purchase of homestead relinquishments

It will be the general policy not to purchase homestead relinquishments. Consideration will be given to such purchases only in very exceptional cases when it can be shown that the requirements of the Homestead Act and/or the homesteader's farming practices involve a use of the land for purposes for which the land is definitely unsuited and that such continued use for the period necessary for the homesteader to prove up his claim will definitely jeopardize the Government's program.

To substantiate the foregoing there must be a prima facie showing that the entryman has to date complied with all requirements for the establishment of his claim and that it is the entryman's bona fide intention, and that he has the capacity, to complete and prove up his entry.

## VII Purchase of land for the purpose of growing cultivated crops

The purchase of a tract now utilized primarily for the growing of a cultivated crop, which involves a too intensive use of the land, with a view to shifting the use of the tract for the growing of a cultivated crop involving a less intensive use of the land, is not authorized under Title III of the Bankhead-Jones Farm Tenant Act. The purchase of such tracts might be theoretically justified on the ground that the land is submarginal in the more intensive type of use and, therefore, may be purchased properly in order to convert it to a supermarginal status in the less intensive use, but this interpretation is not permissible for the reason that the purchase of crop land under the present legislation involves retirement of the land acquired from cultivation.

The purchase of tracts at present utilized for the growing of cultivated crops, which are submarginal for that use, for the purpose of converting them to uses which do not involve the growing of cultivated crops is, of course, authorized.

## VIII Purchase of tracts abandoned for the growing of cultivated crops

Tracts formerly used for the growing of cultivated crops, which are unsuited and now abandoned for that purpose, but which are potentially subject to future use for crop production, will qualify for purchase, provided they fit into the general pattern of adjustment for the area and their acquisition provides the most economical and effective method of control.



2 d IX Purchase of tracts now in grazing or pasture use

In many areas, particularly in the Great Plains, there are extensive acreages of grazing land which, although primarily adapted to that use, are being rapidly depleted through the combined effects of drouth, overgrazing and unsound range management.

Tracts at present used for grazing or pasturage and adapted to that use will qualify for purchase under the present program only when it is shown (1) that the acquisition of the particular tract is essential to the organized control of a larger area already in public ownership or subject to organized control through a local cooperative grazing association or similar agency, or (2) that the acquisition of the particular tract is essential to the establishment of a "community pasture" forming an integral and essential element of the economic pattern of the area as a whole, or (3) that the land in this use forms a part of an operating unit which will qualify for purchase under the principles outlined in Paragraph 2 d XI.

The purchase of tracts now used for grazing or pasturage merely for the purpose of blocking up large areas in order to bring these areas under organized control for grazing purposes will not be included in the present purchase program.

X Purchase of tracts of "wasteland" or land unsuitable for any agricultural use

Land of this type will be acquired only (1) when its purchase is incidental to the acquisition of land which otherwise qualifies for purchase, or (2) in connection with the acquisition of "key tracts" in accordance with the principles enumerated in Paragraph 2 d XII, or (3) when its purchase is necessary to protect adjacent land from such hazards as blowing.

XI Purchase of operating units

A General

The stipulation that lands to be acquired should normally be occupied implies that the program is pointed to the purchase of operating units comprising land which is primarily sub-marginal or unsuitable for cultivation. Such units will qualify for purchase when it is shown (1) that the unit is so small as to require the practice of a type of farming which involves serious misuse of the land with consequent erosion and depletion of the soil, or (2) that the unit



2 d XI A consists primarily of abandoned crop land unsuited to cultivation, or (3) that the unit consists primarily of land not previously cultivated and normally unadapted to the production of cultivated crops but open potentially to crop use in periods of abnormally favorable price and climatic conditions.

B Purchase of parts of operating units

In general, parts of operating units, particularly those in one ownership, should not be acquired. Such purchases must be specifically justified by a showing that the land to be acquired qualifies for purchase and (1) is a "key" tract; or (2) does not merely substitute for a unit in private ownership, a unit principally (except, e. g., for ranch headquarters and crop land) in Government ownership, or (3) does not convert an economic unit into a **non-economic unit**.

When it is proposed to purchase a portion of an operating unit, there must be a definite showing that the remaining portion of the unit is adequate for efficient operation. In no case may that portion of an operating unit which is acquired be reserved for, leased to, or otherwise made available for the exclusive use of the owner or operator of the unit of which it was originally a part. Specifically, the purchase of land under the present program must avoid bringing into Government ownership the lands adjacent to a ranch headquarters, leaving the latter in private ownership but making the rancher's operation depend upon the exclusive use of the land acquired.

XII Purchase of "key" tracts

The purchase of key tracts, the acquisition of which is essential to the effective development, use, administration and management of other public and private lands, will be limited substantially to the following categories: (1) To prevent undesirable developments and use of land adjacent to project facilities developed or being developed, (2) to obtain sites for construction or development of facilities essential for the proper management and use of project lands when no other sites which would qualify for purchase otherwise are available and suitable for the purpose; or (3) to obtain, in cases where easements are not feasible, sites necessary to give access to lands in public ownership or under organized control.





### 3 ESTABLISHMENT OF FIELD PROCEDURES, STANDARDS, AND CRITERIA IN PLANNING FOR LAND ACQUISITION

- a It will be the responsibility of the regional office to establish field procedures, standards, and criteria for the planning of land acquisition for projects in that region, including determinations as to types and detail of surveys to be made, methods and sources for the collection and assembly of information and data, and the establishment of detailed criteria for the selection of tracts to be purchased for individual projects. (In cases where the Department or the Soil Conservation Service has standardized certain types of surveys as, for instance, the Western Range Survey, the standardized survey procedures will, of course, be followed.) Such field planning procedures, standards and criteria will be (1) so designed as to supply the minimum information and data necessary in order to plan a project in accordance with the objectives stated in the memorandum signed by the Secretary approving the project (2) in compliance with the instructions contained herein, and (3) subject to review and modification by the Leader of the Division of Project Organization or his authorized representative. It is expected that field procedures, standards and criteria will be available for examination at all times in the project and regional offices.
- b The kind and amount of data to be collected and analyzed will vary with the project under consideration. For example, in planning a grazing project, it will usually be necessary to assemble detailed information with reference to soils, cover, carrying capacity, water resources and operating units. In contrast to this would be a water conservation project. In planning the acquisition of land for such a project, little would be required except an ownership map upon which has been superimposed a topographic map showing the location of the proposed lake and appurtenant facilities, with an indication that sufficient land is planned for acquisition to protect properly such developments as may be proposed. Likewise, in an isolated settler project, planning would be confined largely to an analysis of a project area from the standpoint of the location of roads and schools in relation to the isolated families living in the area.
- c Since, as stated in the Secretary's memorandum of September 25, 1937 (see Paragraph 2 b I A), "modification of existing patterns of use and occupancy, which are inimical to the public welfare and to the welfare of the people now occupying the land, is the most important consideration in the selection of land to be purchased under Title III," it is required, irrespective of the type or character of the project, that data and information with reference to the present use and occupancy be collected before a tract is cleared for outlying. A map record of such data and information will be kept in the project office. In cases where the project program will effect adjustments in the use and occupancy of the privately-owned lands not to be purchased, it will be desirable, but not required, to have included in the map record data and information as to the use and occupancy of such privately-owned land.



- 3 d Consideration will be given in the assembling of information for the planning for land acquisition to the need for information of similar types in connection with the planning of other phases of the project - development, management and administration, and institutional adjustments. For example, information as to water resources, type and character of cover, number of children of school age, and distance to schools may be needed in connection with the planning of the other phases of the project and can be most economically obtained simultaneously with the obtaining of information necessary in the planning for land acquisition. Likewise, it may be desirable on certain projects to expand the scope of the data obtained for each operating unit, to provide a basis for determining later, in connection with the planning for future use and administration of the project, the ability of farmers, who are to remain in the area, to use additional pasture or woodland in connection with their operating units. Data essential to the planning of other phases of the project, but which are not needed in connection with the planning for land acquisition and which can be assembled as readily later, will not be gathered until they are needed.

#### 4 CLEARANCE FOR PRELIMINARY ACQUISITION ACTIVITIES

Planning for land acquisition on a project will be initiated as soon as the project has been approved by the Secretary and the regional director has been advised of the amount of funds which have been budgeted, tentatively at least, for land acquisition for the particular project. (Planning will be initiated prior thereto only in case specific authorization for such work has been obtained from Washington.) The more specific phases of this planning may be confined to a certain segment of the project area during the early stages of the program (see Section 6) although the general aspects of the planning should be conducted with the entire project always under consideration.

##### a Selection of Tracts for the Assembly of Tract Ownership Data and Appraising

- I As soon as planning on the project has progressed to the point where sufficient information and data are available for the purpose, there will be prepared tentative criteria for the selection of tracts to be purchased. The tentative criteria will be established by the regional official in charge of Project Organization and approved by the regional director. Such criteria will be in accordance with those outlined in Section 2 but will be adapted within those general criteria to the particular project concerned, giving proper consideration to any problems peculiar to the project. Since the criteria will be prepared for each project, these criteria should be specific enough so that project employees will know definitely the types of tracts which are to be selected for purchase on a



- 4 a I particular project. For the reasons just mentioned and for purposes of reference (see Paragraph 4 b VI and 5 c VI) it will be essential that these criteria be worked out in considerable detail and broken down into rather fine and distinct classifications of the various types of tracts to be purchased.
- II The tracts to be cleared for preliminary land acquisition work will then be selected in accordance with these tentative criteria and designated on a preliminary acquisition map. Ordinarily this map will cover only that portion of the project upon which acquisition will be conducted during the fiscal period then current. Upon this map will be shown the tracts which are to be cleared to the Division of Land Acquisition for the assembly of tract ownership data and appraising. No definite specifications are prescribed for this map. Any available base map of appropriate size and scale may be used. Roads, schools, churches, streams, land subdivisions, and prominent landmarks should be shown as far as practicable. An effort should be made to locate the tracts and their boundaries with sufficient accuracy to make a good preliminary presentation of the proposed purchase pattern. On each of the tracts thus preliminarily designated for purchase should be placed an identifying number (see instructions issued by the Division of Land Acquisition), together with the name of the owner and the acreage, when this latter information is available.
- III Upon the completion of this map, an appropriate transmittal memorandum will be prepared by the regional official in charge of Project Organization, addressed to the Leader of the Division of Land Acquisition, giving clearance for the assembly of tract ownership data and the initiation of appraising on the tracts selected. The memorandum should indicate the total acreage of the tracts designated on the map and the acreage which will probably be purchased with the funds currently budgeted for the project. In the event the acreage indicated on the map is appreciably in excess of the amount of land which can be purchased with the funds currently budgeted, there will be an indication as to the area or tracts to which consideration for purchase should be given with the funds currently available. An appropriate space will be provided at the bottom of the last page of such memorandum for the approving signature of the regional director and for the signature of an authorized representative of this Division giving his concurrence to the proposed action. One copy of this memorandum and one copy of the map will be supplied to the regional official in charge of Land Acquisition and one copy of each to the Leader of the Division of Project Organization.





4 b Approval of Tracts for Purchase

- I Planning for land acquisition will continue simultaneously with the assembly of tract ownership data and appraising and it is assumed that such planning will be materially augmented by the information and data collected and the experience gained by such land acquisition activities. As soon as the planning has progressed sufficiently (1) to establish the validity and soundness of the tentative criteria formulated in accordance with the instructions contained in Paragraph 4 a, or to make possible such modifications in the criteria originally established as will result in the selection of tracts for optioning on a sound basis, and (2) to enable the preparation of the "Procedure To Be Followed in Reference to Reservations and Exceptions" mentioned in Paragraph 4 b III, and approval thereof has been secured from the Leader of the Division of Project Organization, clearance may be given to the Division of Land Acquisition to proceed with the optioning of land.
- II The verification of the soundness of the criteria tentatively established in accordance with the instructions contained in Paragraph 4 a, or such modification of them as seems necessary, will be made by the regional official in charge of Project Organization, approved by the regional director and a copy thereof sent to the Division Leader with the copy of the memorandum mentioned in Paragraph 4 b VI.
- III "Procedure To Be Followed in Reference to Reservations and Exceptions"
  - A This statement will be prepared by the regional official in charge of Project Organization for the guidance of the Division of Land Acquisition in carrying out the acquisition program in this respect in such a manner as to comply with the principles and practices which this Division considers essential to assure the success of the project program and the accomplishment of the objectives thereof. This statement will be recommended for approval by the regional director. The original and two copies will be submitted to the Leader of the Division of Project Organization for approval and clearance for optioning will be given only after such approval has been obtained. Upon approval, the original and one copy will be transmitted in Washington to the Leader of the Division of Land Acquisition.



- 4 b III B This statement will outline, in some detail and with proper regard to the criteria outlined in Section 2, the procedure it is proposed to follow in acquiring land subject to reservations of minerals, improvements, timber, etc., and in acquiring exceptions, or land subject to exceptions for minerals; roads; telephone, power, and pipe lines; irrigation ditches; schools; cemeteries; etc. The type of information which will be required in respect to other reservations and exceptions will be similar to that given in the following outline of the information considered essential in respect to mineral (including gas, oil, and coal) reservations and exceptions: (1) The minerals known to be existent in the project area, (2) the extent to which each mineral has been exploited in the past, (3) the probability which exists for the exploitation of each mineral in the future, (4) the extent to which reservations of mineral rights by vendors is anticipated, (5) the extent, insofar as it can be determined without much additional investigation, of outstanding interests in third parties.
- C The statement will outline the procedure that it is proposed to follow with respect to reservations (interests retained by the vendor), indicating (1) the type of subsurface reservation or reservations that will be permitted, (2) why such reservations clearly will not affect adversely the Government's program, (3) the number of years for which such reservations are to be granted (see Paragraph 2 d V B), (4) the limit in the appraised value per acre of minerals, below or at which the right to the minerals will be acquired and above which a reservation will be granted, (5) that a copy of the schedule of deductions for subsurface rights, has been submitted to the Washington office of the Division of Land Acquisition. (See instructions issued by that Division.)
- D Likewise with regard to procedure concerning exceptions (interests outstanding in third parties), there should be stated explicitly (1) the conditions under which exceptions will not be purchased, indicating in detail the financial considerations which may be involved, (2) why such exceptions as are not to be purchased will not affect adversely the project program, and (3) that a copy of the schedule of deductions mentioned in the preceding paragraph, which schedule should provide for deductions for exceptions not to be purchased, has been submitted to the Washington office of the Division of Land Acquisition.



## 4 b IV Life leases

- A Life leases will be considered from the standpoint of individual cases and with proper regard to the criteria stated in Paragraph 2 d V A. It will be understood in giving clearances for the optioning of land that no option will be taken on a tract of land on which it is found that the reservation of a life lease is involved until a statement has been submitted to and approved by the Leader of the Division of Project Organization which indicates, together with any other pertinent information, the tract concerned; the location, within the tract, of the area to be leased; the acreage of the area proposed for lease; the age of each proponent; the financial status of the family; and a detailed showing that: (1) The program of adjustment requires that the tract be acquired (rather than remain in private ownership), even though subject to a life lease, (2) the removal of the occupant (or occupants) is impracticable or contrary to the public interest, (3) continued occupancy of the tract will not create or perpetuate a relief problem, which the Federal Government is morally, or in fact, obligated to handle, and (4) continued occupancy of the tract will not interfere with the future use and administration of lands acquired. (See also instructions issued by the Division of Land Acquisition.)
- B This statement will be prepared by the regional official in charge of Project Organization, approved by the regional director and submitted to the Leader of the Division of Project Organization, in duplicate. Upon approval, the Division Leader will transmit the original to the Leader of the Division of Land Acquisition and at the same time will notify the regional director of his approval. The regional director will then supply a copy to the regional official in charge of Land Acquisition.
- V No clearance will be given for the optioning of state or county-owned land until the "Land Acquisition Planning Report", described in Section 5 has been submitted to Washington and clearance, based thereon, given for the acceptance of options on the project. (See particularly Paragraph 5 c V B.)
- VI After the statement of "Procedure To Be Followed in Reference to Reservations and Exceptions" has been approved by the Division Leader, and the tracts to be cleared for optioning have been selected, the regional official in charge of Project Organization will prepare an appropriate memorandum addressed to the Leader of the Division of Land Acquisition specifying, by use of the tract numbers shown on the preliminary acquisition map, those tracts to be given clearance for optioning.



- 4 b VI Reference will also be made for each tract to the specific paragraph or paragraphs of the project criteria (see Paragraphs 4 a I and 4 b I) under which the tract qualifies for purchase. In preparing this memorandum, the following statement should be included: "Optioning will, of course, actually be initiated only under specific instructions from your office." It is required that this memorandum be approved by the regional director and concurred in by an authorized representative of this Division in spaces provided therefor at the bottom of the last page of the memorandum. One copy of this memorandum will be supplied to the regional official in charge of Land Acquisition and one copy, together with a copy of the criteria mentioned in Paragraph 4 b II, will be transmitted promptly to the Leader of the Division of Project Organization. If additions or corrections in the preliminary acquisition map have been found necessary at the time this clearance memorandum is prepared, revised copies of the map will accompany the memorandum and the copies thereof. The two copies of this map originally submitted to Washington will then be returned to the regional office.

#### 5 CLEARANCE FOR THE ACCEPTANCE OF OPTIONS

- a No clearance for the acceptance of options on a new project, a segment thereof (see Section 6), or on the extension of an old project, will be given until sufficient options have been obtained to assure the success of the project program in the area under consideration (new project, segment thereof, or extension) nor until the planning for land acquisition, at least within a sizeable segment of the area, has been virtually completed, i. e.,

I until the area or a sizeable segment thereof has been carefully surveyed including (1) the taking and analysis of farm and ranch schedules, where the nature of the project requires such information for effective planning, or if such schedules are not essential, the gathering and analysis of data relative to present occupancy and land use of each tract tentatively proposed for purchase in either the memorandum prepared in accordance with Paragraph 4aIII or the one prepared in accordance with Paragraph 4 b VI, (2) the making and analysis of such soils, cover, water resources, or other similar surveys as appear essential to proper planning, (3) the preliminary planning for future use, management and administration, (4) the assembly of tract ownership data, (5) appraising, and

II until a "Land Acquisition Planning Report", prepared in the regional office, presenting the pattern of purchase which the planning activities have indicated should be adopted to accomplish the project objectives as outlined in the memorandum signed by the Secretary approving the project, has been





5 a II submitted (original only) to the Washington office of the Division and clearance, based thereon, has been given by the Division Leader for the acceptance of options on those tracts which have been approved for purchase on the project in accordance with the procedure outlined in Paragraph 4 b. This clearance will be given in the form of a memorandum from the Leader of the Division of Project Organization addressed to the Leader of the Division of Land Acquisition, with a copy to the regional director. The purpose of this "report" is to enable the regional and Washington offices to review a summary of the pertinent facts with reference to the project before any options are actually accepted.

b After clearance for the acceptance of options has been given on a project, either in accordance with the procedure outlined in Paragraph 5 a II or in accordance with former procedures in the case of projects cleared for option acceptance prior to the issuance of this revision, it will be understood that options thereafter may be accepted as soon as the tracts concerned have been approved for purchase in a memorandum prepared in accordance with the provisions of Paragraph 4 b VI, provided sufficient funds are available therefor. (See Section 6.)

c Preparation of the "Land Acquisition Planning Report"

I The proposed pattern of purchase and pertinent correlated substantiating information and data will be presented graphically and descriptively in the form of a report consisting of (1) a key map, (2) an ownership map, (3) a brief statement of the character and extent of the planning work from which the proposed pattern of purchase has been developed, (4) a detailed statement indicating the significance of the proposed pattern of purchase to the general program for the project as outlined in the Secretary's memorandum of approval, correlating this pattern of purchase with the means other than purchase which it is proposed to use in securing the desirable adjustments in land use, (5) a tabulation of pertinent facts about the tracts proposed for purchase, (6) a statement indicating that the project program as planned has the support of the local public.

II Key map

The "key map" will be prepared on whatever scale is necessary to show on one map sheet thirty-one inches by thirty-five inches (31" x 35") the boundaries of the project area. Projects involving more than one site will be shown on one map sheet wherever the sites can be shown in their true geographical relationship without reducing the scale to a point where the boundaries of each site are not clearly distinguishable.



- 5 c II In instances where this is impossible, separate map sheets may be used to show the various sites. Where more than one map sheet is necessary for a single project, each map sheet will be on the same scale. The project boundaries will be drawn to coincide with those shown on the map submitted with the project proposal unless a change in the boundaries has been authorized. (See LU-PO 5, Section 7.) Significant features which will be included and identified are towns, trunk highways, railroads, important streams or rivers, lakes and ponds, and county and township boundaries. One copy of this map will be transmitted with the Ownership Map (see Paragraph 5 c III L) to the Washington office of this Division in a roll, not folded.

### III Ownership map

- A The ownership map will be prepared on sheets having outside dimensions of thirty-one inches by thirty-five inches (31" x 35"). If the project (or portion of the project included on the map) is of such size that on the basis of the established scale it is impossible to show the entire area on one sheet (31" x 35"), additional sheets of the same size will be used. Care must be used in properly identifying the relationship of the adjoining maps. The scale to be used on a particular project will be determined in the regional office, but in no case should it be less than one inch to the mile. If the project involves a large number of small or irregularly shaped tracts it will usually be essential to prepare this map on a scale of more than one inch to the mile in order to show clearly the tract numbers and various physical features required in Paragraph 5 c III C to J inclusive. Margins will be not less than two (2) inches on the left side for binding, eight (8) inches on the right side for legends and identification, and one and one-half ( $1\frac{1}{2}$ ) inches at the top and the bottom. Symbols used will be those contained in Administration Data 1 issued by the Resettlement Administration unless or until a revised set of symbols is issued.
- B In the lower right-hand corner of each map sheet will be placed a table of sufficient size to be clearly legible as follows:





5 c III B

(TITLE)

Project Symbol \_\_\_\_\_ Sheet No. \_\_\_\_\_

Part \_\_\_\_\_

(Bar Scale of Miles)

Prepared by \_\_\_\_\_ Date \_\_\_\_\_

Revised by \_\_\_\_\_ Date \_\_\_\_\_

Revised by \_\_\_\_\_ Date \_\_\_\_\_

Approved by Regional Director (see letter dated \_\_\_\_\_  
transmitting the "Land Acquisition Planning Report" and  
letter transmitting this map dated \_\_\_\_\_).

The space on the map sheet in the margin above this table  
will be used for the legend of symbols used on the map.

- C The project boundary and the boundary lines of all individual tracts within the project will be accurately shown on the ownership map. (See instructions issued by the Division of Land Acquisition for the definition of what constitutes an individual tract.) Tracts will be numbered on the ownership map as outlined in instructions of the Division of Land Acquisition. The various classes of publicly owned lands will be indicated on the ownership map by the crosshatching or other symbols regularly used on Government maps.
- D State, county, and township (including localized equivalents thereof such as "town", "block", "hundred", etc.) lines will be clearly shown and identified on the ownership map. In sectionalized areas, a complete break-down of the General Land Office survey will be shown. All section corners should be definitely indicated. In all areas not included in General Land Office surveys, all recorded land subdivisions located within the project boundary will be accurately located. In unsectionalized portions of the country, the project area will be divided on the ownership map by use of fine lines into arbitrary blocks from one to six miles square, depending upon the size of the area and the scale of the map. Each block will be identified in the upper left corner with a distinguishing number for reference purposes in readily locating tracts, as for instance, in the tabulation of tracts required in Paragraph 5 c VI.

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